



Ungraded Custom Homesites Design Book

First Edition - Revision 1

December 1, 2004



Welcome ...

Welcome to the exciting process of creating your new custom residence at Santaluz.

One of the last coastal properties of its size and quality in California, the rustic village of Santaluz has been carefully crafted with the blending of cohesive and thoughtful design elements. At Santaluz, the natural landforms, native landscape and simple, elegant buildings all work together to create a village with a special quality of living.

As with all aspects of Santaluz design, the custom homesites play an important and unique role in the overall community. The purpose of this document is to provide inspiration as well as criteria and guidance to you and your team, as you proceed with this process.

We see our primary role as communicating the vision of Santaluz and ensuring the proper execution of that vision while simultaneously allowing for a high degree of variety and customization of your residence. We see ourselves more as communicators, facilitators and counselors than a standards committee.

To this end, you will find that the Santaluz design review process fits well within the typical custom home creation process. We stand ready to work with you at any pace you choose.

As we all proceed down this path of ensuring the design integrity of Santaluz, we have found there are several principles that allow the creation of your new Santaluz custom residence to be most effective:

- All team members should have a thorough understanding of Santaluz Design.
- Authentic details ensure authentic architectural style.
- Create original design for your specific homesite and surroundings.
- Seek frequent feedback on your progress; the Santaluz design team is a resource.
- Provide complete information at each step of the process.
- Respect the design and construction guidelines.
- Be inspired ... and have fun!

We look forward to working with you in bringing Santaluz to its ever-evolving reality.

Sincerely,

The Santaluz Design Review Team



Ungraded Custom Homesites Design Book

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The Design Book may be revised from time to time as conditions change or new conditions occur.
The edition that is most current supersedes the previous one.

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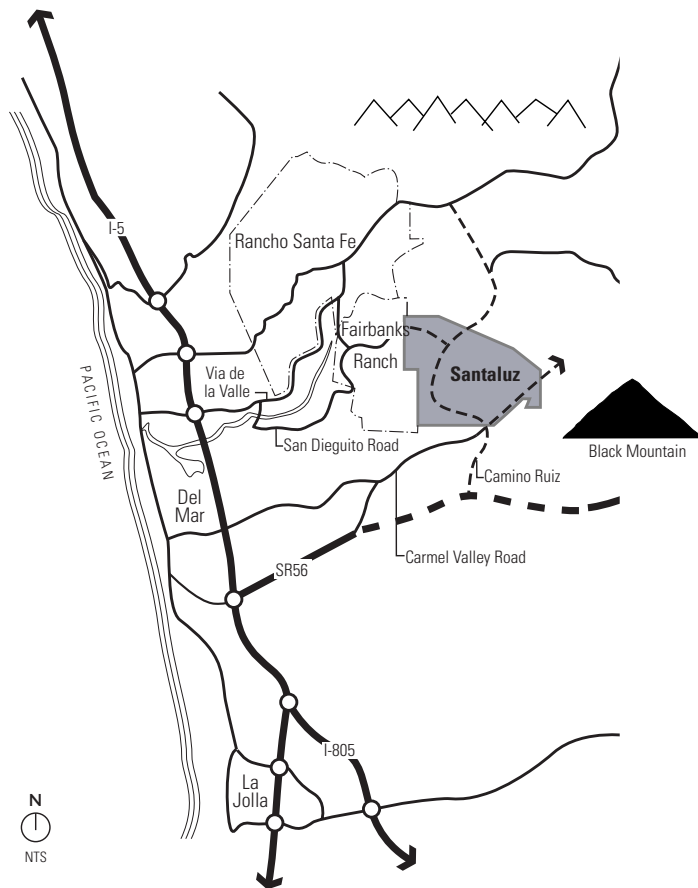


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Santaluz lies in a coastal setting graced with natural beauty

1.1 Introduction

Welcome to Santaluz! You are about to begin the design and construction of a custom home that will become a critical part of a community unlike any other in Southern California. This presents a special challenge to you, as well as your designers and builders. It is the intent of this Design Book to provide comprehensive, meaningful, and detailed direction that will make this process as simple as possible.

The Custom Homesites Design Book is especially important at Santaluz because so much of the ultimate character of the community will directly depend on the quality and character of individual homes and their sites. While the vision for Santaluz calls for diversity of texture in the fabric of the community, the

custom homes will be of the highest quality level in the community. Therefore they are expected to achieve a greater degree of authenticity than the production builder homes. As a result, great care has been given to communicating as precisely as possible how individual homes can complement and enhance the overall vision for the community.

The goal of the design book is to foster an understanding of the Santaluz philosophy and assure compliance with the community design principals and standards of Santaluz, as well as to promote an efficient review process.



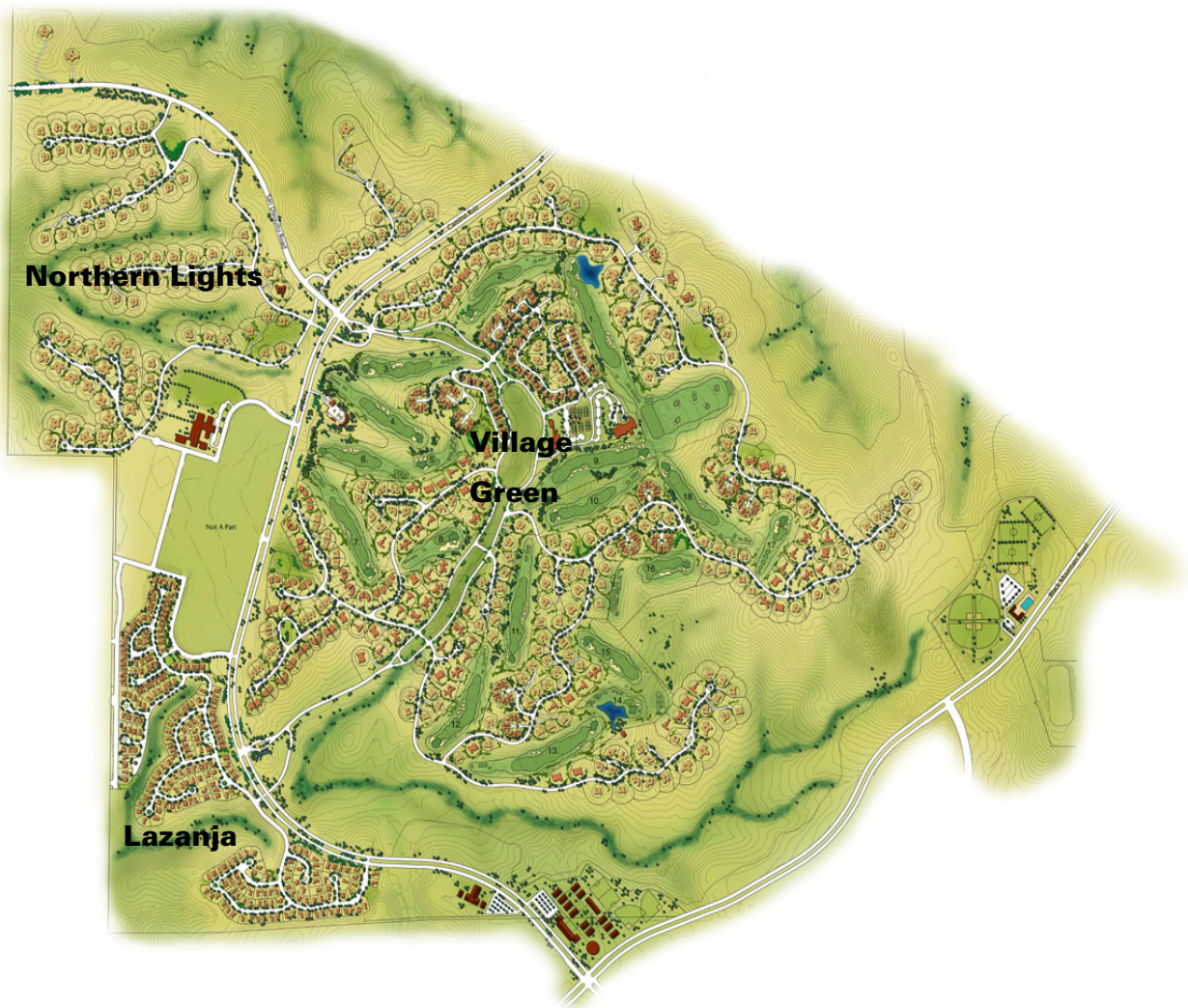
Santaluz - the vision

Accordingly, these guidelines begin with a brief description of the vision and design philosophy that have guided Santaluz's planners during the design and construction of the community. Understanding this philosophy thoroughly will help explain the more detailed guidelines contained in the sections that follow. Also, since it is impossible to predict all possible conditions that may arise in the design of a custom home, these guiding principles will provide philosophical guidance where no specific guideline is present. It is not the intent of these guidelines to interpret or describe any City of San Diego zoning or building codes. It is the responsibility of homeowners and their consult-

ants to determine and observe any requirements the City might have. The Design Book and its accompanying checklists may be revised from time to time as conditions change or new conditions occur. The edition that is most current supersedes the previous ones. The photographs in this document are generally representative of the design intent, however, they may not accurately depict every architectural, site and landscape detail of Santaluz.

In addition, graphic exhibits of plans and sections are not necessarily drawn to scale, and are primarily for illustrative purposes. Labeled dimensions, however, indicate requirements of either

the Design Book or City of San Diego and must be observed.



The Santaluz Master Plan grows out of the natural beauty of the site, and preserves its most endearing qualities

1.2 Santaluz Vision

The shared aspiration of those who live in Santaluz is to build a special place that blends the beauty of the natural site with understated, authentic and graceful built structure in order to create a community with a relaxed, inviting and timeless character. To better communicate how such a place might be created, the design and planning team developed a deep understanding of the site early in the process of designing Santaluz. From that, a set of guiding

principles against which all design proposals could be measured emerged. The following is a description of these insights concerning the land and the Santaluz design and planning principles which evolved from them.



Natural open space and Golf Course surround Santaluz and set it apart

1.2.1 Reflection of the Physical Setting

The character of Santaluz is influenced most noticeably by the three dominant features of the existing site: coastal, secluded, and rustic. Moreover, at Santaluz, these qualities are distinctly Southern Californian in appearance, and the ultimate physical expression of Santaluz will be distinctly Southern Californian.



The golf course captures the spirit and expansiveness of the surrounding open space

Coastal

Cool ocean breezes, views of the ocean, and a natural landscape found only where an ocean-influenced climate predominates make Santaluz a coastal community. As a result, special attention has been given in the design of Santaluz to take advantage of these desirable features, and all custom homesites will be able to take advantage of Santaluz's coastal setting.

Secluded

Most of Santaluz is separated from surrounding neighborhoods by broad arroyos and ample open space, giving the community a feeling of peaceful seclusion. Special attention has been given in the Santaluz site plan to accentuate and enhance this feeling by

carefully defining and orienting building sites.

Rustic

The rustic character of Santaluz is due to the gently rolling terrain, rugged rock outcroppings, meandering dry creek beds, naturalistic landscape and abundant long views of mountains, hills, and valleys; rustic character creates an authentic living environment.



Generous homesites set carefully in the existing terrain and separated by organic open space are a hallmark at Santaluz

1.2.2 Spaciousness

Santaluz's location on coastal hills provides views of the surrounding countryside that are special and unique. Distant views of the mountains to the north and east, the ocean to the west, and city lights to the south create a sense of spaciousness that is further enhanced by the protected natural open space that immediately surrounds the community. Finally, community open space in the form of a private golf course, spacious setbacks, and special land features suffuse the community with openness, and helps bind it together. Protecting, enhancing and celebrating this expansiveness is one of Santaluz's distinguishing qualities, helping to make it unique, and increase its value.



Rounded natural forms, sensitively aligned roads, and diverse mix of residential dwelling types characterize Santaluz

1.2.3 Natural Landforms Engender Man-made Forms

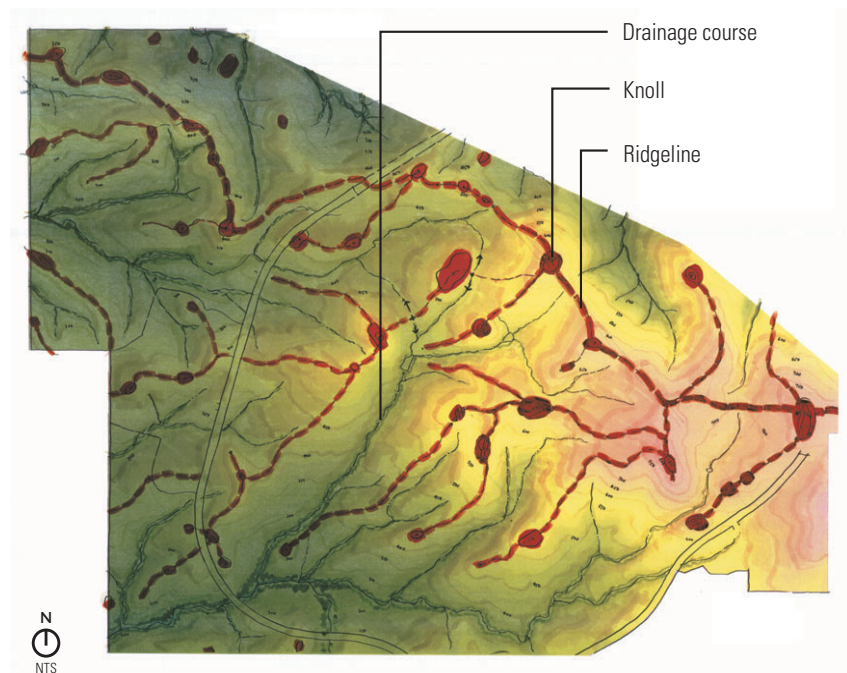
The land is the plan, and the plan grows directly from the land. Protecting the gently rolling character of the hills and preserving the most prominent natural landmarks in Santaluz provides a basic framework that will influence all aspects of the community design. Most immediately evident is the approach to grading homesites, which for most of Santaluz involves a unique system of circular pads that fit comfortably into the existing terrain, while providing flexibility in orienting buildings that would not otherwise be possible. Building placement and massing will reflect the shape of the terrain, with special consideration given to second story elements, roof forms, and materials. Landforms are the guiding form-giver for grading, architecture, and landscape.

1.2.4 Understated and Authentic

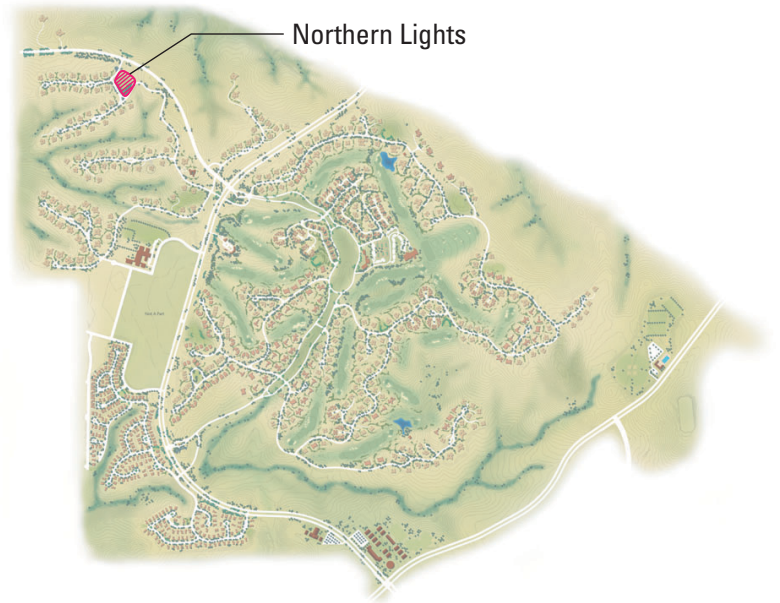
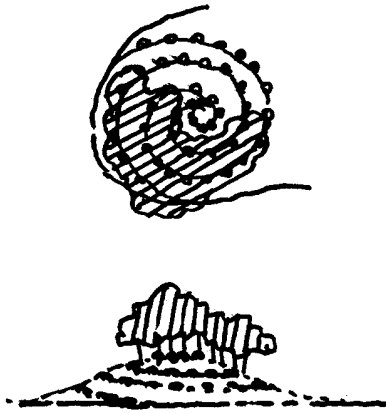
To assure the visual predominance of Santaluz's unique setting and the overall community character, man-made elements will be restrained and understated in appearance and massing. Architectural styles permitted in Santaluz have been selected because of their time-proven compatibility with the Southern California coastal environment. Authenticity in realizing the architectural elements of Santaluz with predominantly low building forms and massing will further enhance the character of the community by assuring a consistency that will promote both the visual continuity and the understated visual character of Santaluz. The Santaluz landscape will reinforce this character with an emphasis on plants that enhance the spaciousness of the community and are visually sympathetic with the surrounding natural landscape. Santaluz will appear to be a natural part of its environment as a result of the integration of landscape and architecture.



A towering grove of eucalyptus is preserved at Lazanja Meadow



Many of the underlying landforms are the inspiration for the landmarks of Santaluz



Concept sketch of Northern Lights, a landmark with twin spiral, boulder-lined paths that lead to an overlook of Lusardi Creek and the mountains to the north



The character of the Village Green: open turf with large sycamores around the edges



The northern gateway to Santaluz is reminiscent of those found at national parks: understated, natural and endearing

1.3 Using the Design Book

1.3.1 Document Organization

In order to make this Design Book useful, it has been divided into several sections based on the major design disciplines that will be involved in the design of a custom homesite.

Site Planning

The site planning section describes the basic constraints on the development of an individual homesite. It begins with a brief description of some of the basic design considerations, such as the circular pad, grading concept, yard types and their requirements. More detailed information describes floor areas, building heights, driveways, parking, and other components that regulate the use of the site and establish the envelope in which a building can be placed. These types of technical design requirements have been carefully determined, and custom homesite owners and designers should pay particular attention to them.

Architecture

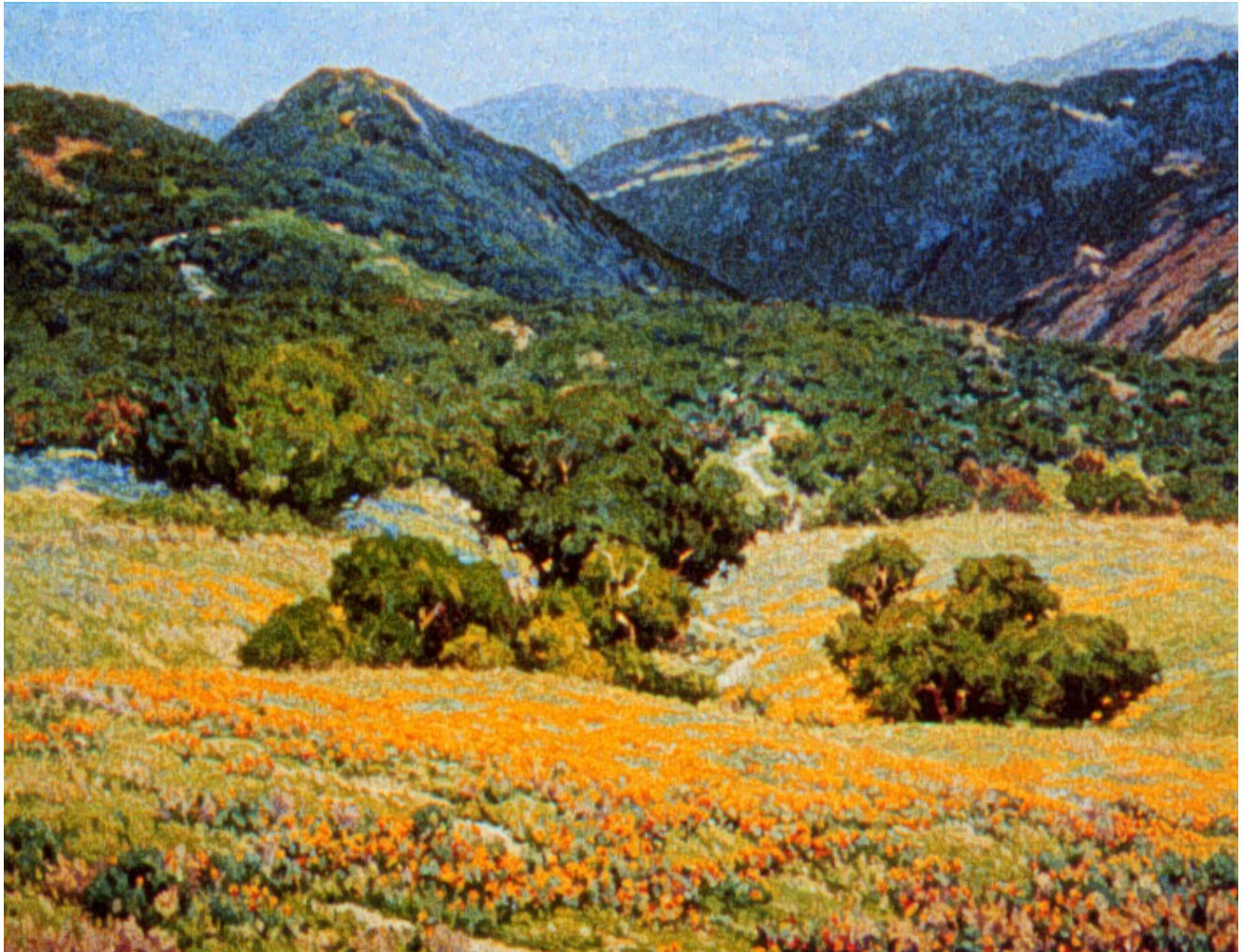
The architecture section of the Design Book describes the permitted styles of architecture and provides the guidelines, requirements, and patterns that will be used by the architect to create authentic and understated dwellings that are so important to the overall character of the community. The requirements of these architectural styles emphasize a greater degree of authenticity than was required of the community buildings and production builder homes at Santaluz. Historical precedent, building massing, roof form, openings, materials and finishes, and other key architectural elements are described with text and images that will guide the development of appropriate home designs. The images portray historically accurate architectural styles, however they may not adequately represent the site or landscape environment of Santaluz. For appropriate site and landscape images one is directed to other sections of the Design Book.

Images used in the Architecture section have been selected for their representa-

tions of what is specifically described in the accompanying text. Other elements found within the respective photo may or may not be expressly applicable. Custom homesite owners and designers are required to submit photographs or copies of historical precedents for their individual designs.

Landscape

To create a landscape that flows naturally from the surrounding open space into and through the community will require special attention to landscape design. This section of the Design Book describes the landscape requirements in terms of interior yard, perimeter yard and streetscape. It also includes detailed guidance for planting design. Subsequent sections describe hardscape design, lighting, and special landscape requirements for brush management and visually prominent sites. In order to maintain the natural theme at Santaluz it is important that the landscape has a seamless transition from private property to Association maintained areas and the Santaluz Club.



California Plein Air painting (Southern California Hills, by Granville Redmond)

1.3.2 Design Process

Following the description of the specific design requirements, the Design Book describes the process for design review that is an important part of the process of building a home in Santaluz. The goal of the Design Book is for the homeowner's team to have frequent communication with the Santaluz Design Review Staff. The Design Review Committee (DRC) is composed of members who act collectively upon all plans and specifications submitted for approval to assure conformity with the Design Book, the spirit of design intent at Santaluz as well as an efficient review process.

1.3.3 Interpreting Santaluz Design Book Guidelines

Understanding the language of the Design Book relies on the definition of three important words: must, should and may.

Guidelines that include the word 'must' or 'shall' are required.

Guidelines that use the word 'should' are also required, but the Design Book recognizes that some flexibility may be needed that will be evaluated by the Committee on a case-by-case basis.

Finally, some guidelines use the word 'may' as the qualifier. These guidelines are entirely optional and can be followed at the designer's and owner's discretion.

Occasionally, a situation will arise where no guideline exists, and the design direction is uncertain. In this case, the Design Review Committee will revert to the basic design principles for guidance. If determined by the DRC appropriate, variations from the Design Book requested by individual homeowners will also be evaluated on the basis of the basic design principles.





Site Planning



Typical Custom Homesite

2.1 Characteristics of Homesites

Custom homesites occur throughout Santaluz. The sites are generous in size, most more than one acre. Many have large circular pads that can accommodate expansive one-story homes and spacious outdoor yards and gardens. The separation from adjacent dwellings will be ample, and generally be 50 feet or more. See section "2.9.6 Building Set-backs". The grading of the individual homesites has been tailored to comfortably fit the terrain. Custom homesites typically occur where the existing natural terrain is gentle enough to easily fit the large homesite without disruptive, artificially contrived grading. Some

homesites have Santaluz Club views, while others are located adjacent to the open space that follows the natural drainage courses of Northern Lights or adjoins the open space of La Jolla Valley. Some have ocean views, and some even enjoy multiple views and orientation.

All residential homesites provide sufficient space for long low building wings that extend outward to take advantage of views, create special outdoor rooms and gardens, and embrace the heart of the Santaluz living experience. The building forms should be simple. These homes should appear to rest comfortably on the land without creating large massing elements.



A portal at the end of this rustic entry drive provides an unmistakable clue to the simple elegance of the home which lies beyond



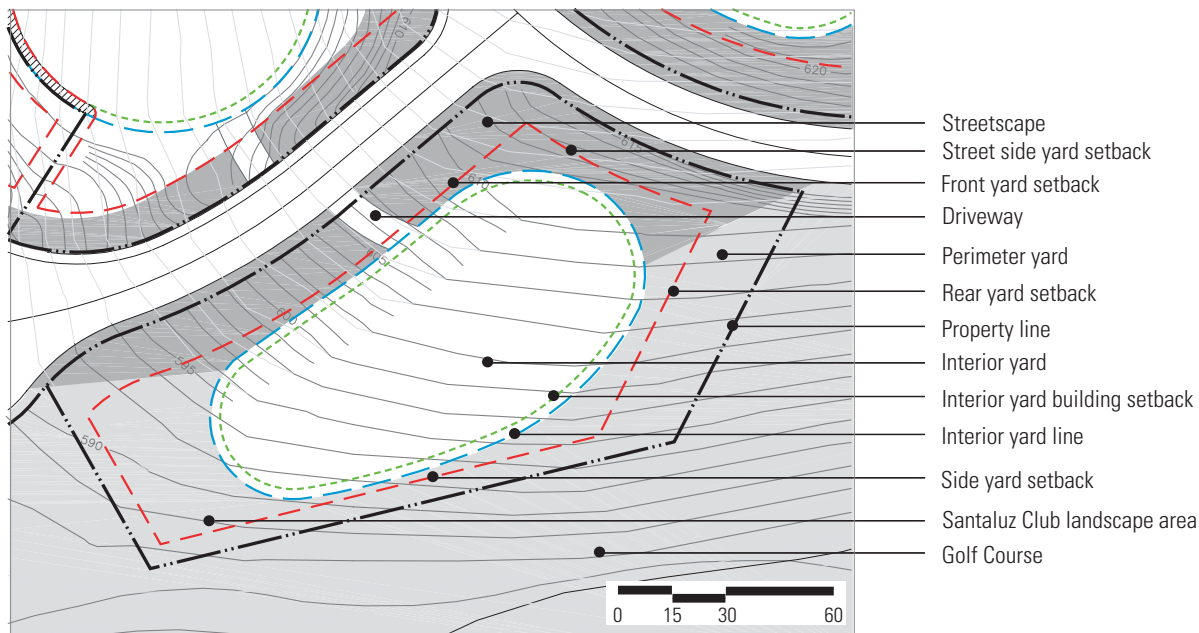
These spacious homesites encourage expansive one story ranch style homes with long, low wings creating a variety of generous outdoor space



Location of Custom Homesites

2.2 Location

Custom homesites are located throughout Santaluz. Custom homesites are illustrated in darker circles in the above exhibit.



Typical Ungraded Custom Homesite Exhibit

2.3 Ungraded Homesite

This section takes the place of Custom Design Book Section "2.3 Site" and "2.4 Circular Pad".

Several special homesites have been identified in Santaluz that were not previously mapped. They have distinctive qualities which include excellent views and prime locations. The most notable difference is that these homesites have not been graded into flat circular pads. Houses on these lots are to be adaptive to the natural terrain and must open out directly to their site on more than one level stepping with the grade. These sites present unique challenges and the opportunity for unique solutions. These sites will have most of the characteristics of the other custom homesites in Santaluz including the Interior Yard, Perimeter Yard, and Streetscape areas. They also allow generous natural open space to flow between homesites. Most of the criteria that applies to these yard areas on other custom homesites will be the same here. The architectural styles that are allowed for these sites are Provence farmhouse, Andalusia farmhouse and Tuscany farmhouse. **More**



This house takes advantage of the grade change to conceal the garage and emphasize the entrance

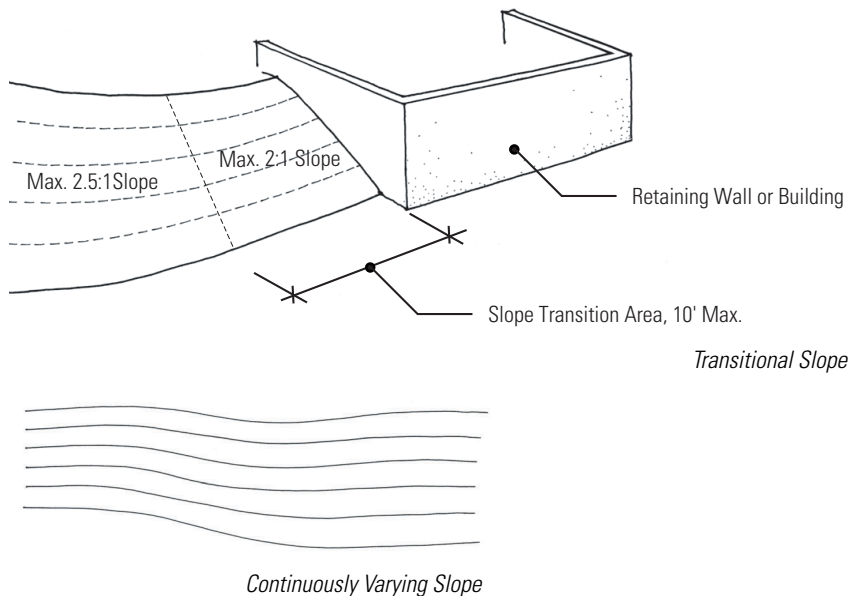
restrictions are recorded on the **Ungraded Custom Homesite Exhibit** and **Ungraded Custom Homesite Supplemental Exhibit**. Each exhibit is intended to demonstrate one possible way of developing the site.

Each homesite is comprised of several definitive areas. The lot area is bounded by the property line which defines the overall area of ownership by the home-

owner. The area which will be developed by the homeowner to accommodate the home and gardens is referred to as the Interior Yard. The limit of this area is designated by the Interior Yard line. The Perimeter Yard includes the lot area not in the Interior Yard and is intended primarily for landscape. The Perimeter Yard also includes the driveway and the streetscape.



Adaptive grading and architecture create a harmonious relationship with the site



2.4 Grading

It will be the responsibility of the homeowner and his or her consultants to design not only the home and gardens but to design the grading for the site as well. Everything must work together as it does throughout Santaluz creating a unified composition of site, landscape and home.

Though the houses must be graded adaptive, a considerable amount of grading may be needed on some sites. **Homesites must not be graded into a single flat pad.** All graded areas must blend seamlessly into the natural terrain with graceful curving landforms. The goal is that once the landscape is restored the area should be indistinguishable from its natural surroundings.

Grading may extend over areas of the homesite beyond the Interior Yard and the home and gardens must occur on multiple levels within the Interior Yard.

Graded slopes should continuously vary in steepness with 2.5:1 being the steepest slope permitted except for transitional slopes extending no more than a horizontal distance of 10' directly adjacent to a building or retaining wall. 2:1 is the steepest slope permitted in this transitional area. Graded slopes should continuously curve in their alignment blending with existing landforms.

Straight segments of slope should be no longer than 60'.

Once the new grading is established the same standards will apply to the Interior Yard, Perimeter Yard, and Streetscape area as elsewhere in Santaluz.

It is required that a soil engineer review any proposed grading in the homesite area.



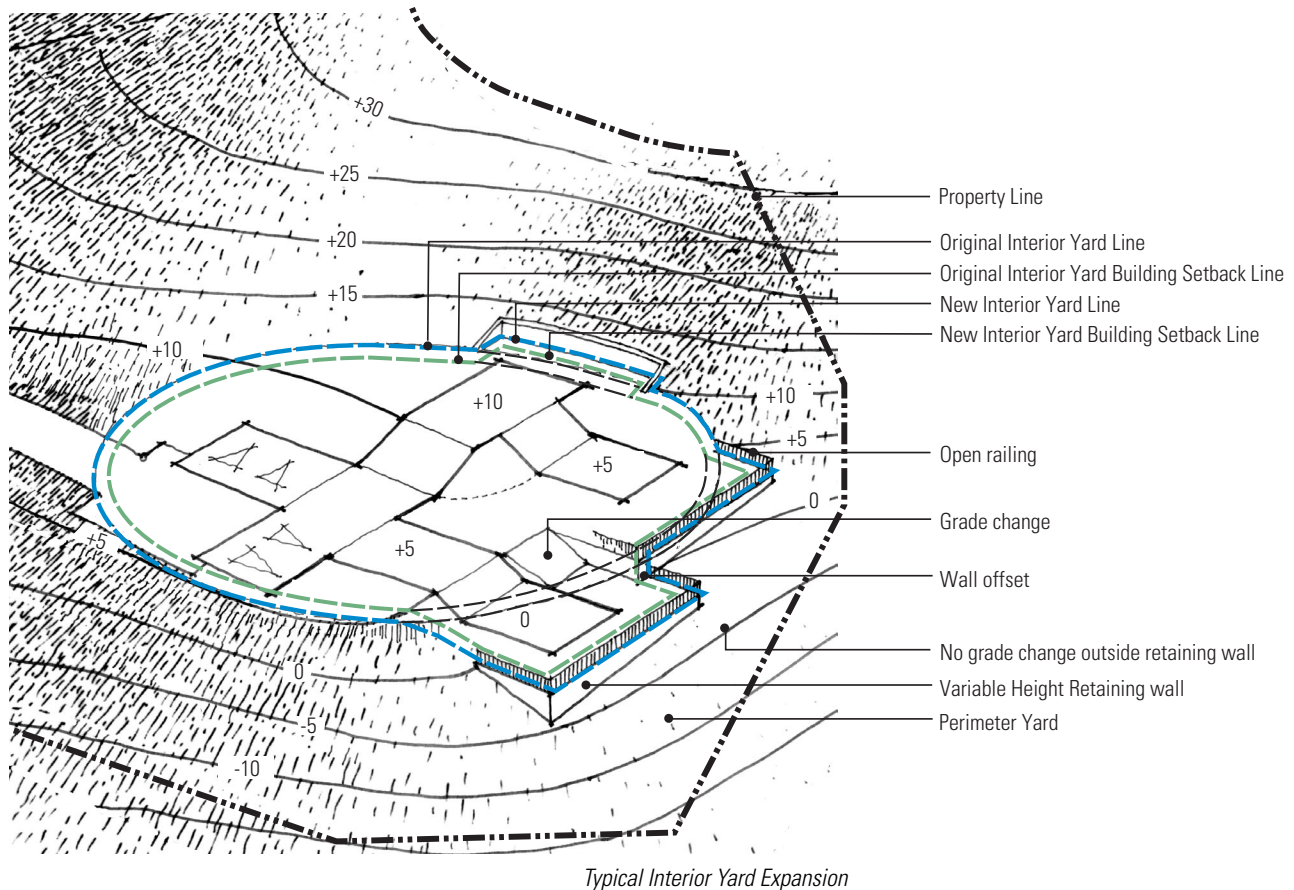
Mission gardens set an example by their understated elegance and simplicity

2.5 Interior Yard

This section takes the place of Custom Design Book Section "2.5 Interior Yard". The Interior Yard is the area of the homesite which will be most developed. This area accommodates the home and the outdoor use areas associated with it. Modifications to existing grades will occur in this area to accommodate the building and outdoor uses subject to the approval of Design Review Committee. The character of Interior Yard Landscape is required to be simple, natural, and understated. Though more ornamental in character, this landscape must be compatible with adjacent natural landscape. See Landscape section "4.2 Interior Yard". The character of the associated hardscape is derived from two sources: the land and the architectural expression. Elements derived from the land emphasize natural materials

such as stone and wood, while elements related to the building should be extensions of the architecture. **Walls and fences must not follow the Interior Yard line continuously.** They may enclose use areas that extend from the building. See Chapter 5 Hardscape.

The Interior Yard may also include a Brush Management Zone and the La Jolla Valley Rim Lot requirements. See Chapter 7 Brush Management and Chapter 8 La Jolla Valley Rim Lots.



2.6 Interior Yard Expansion

This section takes the place of Custom Design Book Section "2.6 Interior Yard Expansion". The Interior Yard area may be expanded into the Perimeter Yard, by an amount up to 10% of the Interior Yard area subject to approval by the Design Review Committee.* The perimeter of this area will become the new Interior Yard line for building setbacks. A portion of a house may project into an Interior Yard expansion subject to City setback and approval by the Design Review Committee. A 5 foot minimum building setback dimension is required whenever an Interior Yard expansion creates a new Interior Yard line. As part of site preparation, grading may occur in the Perimeter Yard and is not counted as Interior Yard Expansion. This expansion may require the use of retaining

walls. Retaining walls outside the original Interior Yard Line will not counted as an expansion as long as the wall is low, 3 feet high or less, natural appearing and the perimeter yard landscape is restored. It is recommended that a soil engineer review any proposed expansion of the interior yard area. Changing the existing grades in the Perimeter Yard outside of the new Interior Yard line is not permitted.

- Maximum height of wall: 6-7 feet subject to Design Review Committee approval. See Stepped Wall Exhibit, Page 5-12.
- Maximum length of a single wall segment higher than 3 feet: 60 feet
- Minimum offset between wall segments: 6 feet

Open railings upto 3 feet are not included in the height of wall.

*Note: if proposed expansion affects Santaluz Maintenance Association or Santaluz Club areas, a separate encroachment application and approval may be required.



Natural grasses, large shrubs, and oak trees are typical within the Perimeter Yard

2.7 Perimeter Yard

This section takes the place of Custom Design Book Section "2.7 Perimeter Yard".

The Perimeter Yard surrounds the Interior Yard. It is a natural appearing area with grasses, large screening shrubs, and occasional clusters of canopy trees. The Perimeter Yard is a seamless area that appears to flow through the community providing continuity in the landscape and natural separation of the homes. Walls or fences or other hardscape elements are not permitted in this area with the exception of Interior Yard Expansion and the low retaining walls of natural appearance.

Some landscape and irrigation in the Perimeter Yard may have been installed by the Master Developer or Santaluz Club. These landscape and irrigation will be disturbed during the site grading and preparation. The homeowner is required to restore the landscape and irrigation per the requirements of Santaluz Maintenance Association and Santaluz Club. Any change or modification to the original landscape must be submitted and approved in advance by the Design Review Committee and City of San Diego. After installation, this landscape is to be maintained by the homeowners and subject to Landscape section "4.3 Perimeter Yard". When adjacent to the Santaluz Club, Perimeter Yard may include an area where the landscape is to be irrigated and maintained by the Santaluz Club.

The Perimeter Yard may also include a Brush Management Zone and La Jolla Valley Rim Lot requirements. See Chapter 7 Brush Management and Chapter 8 La Jolla Valley Rim Lots.



This driveway passes through the natural landscape of the perimeter yard and streetscape

2.8 Streetscape

This section takes the place of Custom Design Book Section "2.8 Streetscape". The streetscape occurs within the Perimeter Yard next to the street. It is the natural appearing area most visible from the street, with grasses, large shrubs, accent plantings, and clusters of canopy trees.

In some cases landscape and irrigation in this area may have been installed by the Master Developer. This landscape and irrigation will be disturbed during the site grading and preparation. The homeowner is required to restore the landscape and irrigation per the requirements of Santaluz Maintenance Association. Any change or modification to the original landscape must be submitted and approved in advance by the Design Review Committee and City of San Diego. After installation, trees, irrigation and other landscape is to be maintained by the homeowner except on some homesites where there is an area designated as ornamental grass streetscape which is maintained by the Santaluz Maintenance Association, see Landscape section "4.4 Streetscape". Each homeowner is responsible for feeding, maintaining, trimming, pruning, and irrigating the street trees located on such homeowner's lot and the adjoining street lot landscaped area. These are not the responsibility of the Santaluz Maintenance Association. If not maintained by the homeowner, the Santaluz Maintenance Association reserves the right to maintain and assess the homeowner for the maintenance cost. This landscape may be supplemented by the homeowner if approved by Design Review Committee subject to Landscape section "4.4 Streetscape".

2.9 Building Requirements

2.9.1 Building Floor Area

The Total Allowable Building Area in square feet is lot specific based on individual lot size and setback requirements. See Ungraded Custom Homesite Exhibit and Ungraded Custom Homesite Supplemental Exhibit for allowable building square footage for a specific lot.

The building area includes all covered and enclosed areas of the home including the garage and accessory buildings. Accessory buildings must be permanent site built structures.

Covered unenclosed areas such as arcades, terraces, porches, and balconies are encouraged up to the maximum square footage allowed.

2.9.2 Max. & Min. Square Footage Requirements

1. The Maximum Enclosed Building Area is the total square footage of enclosed roofed building space. It includes areas of all floors and garage. There is no minimum enclosed building area required at Santaluz.

2. The maximum square footage of the Second Floor Enclosed Building Area is dependent upon the total Enclosed Building Area built. The following chart limits the allowable square footage of the Second Floor Enclosed Building Area to a percentage of the total Enclosed Building Area.

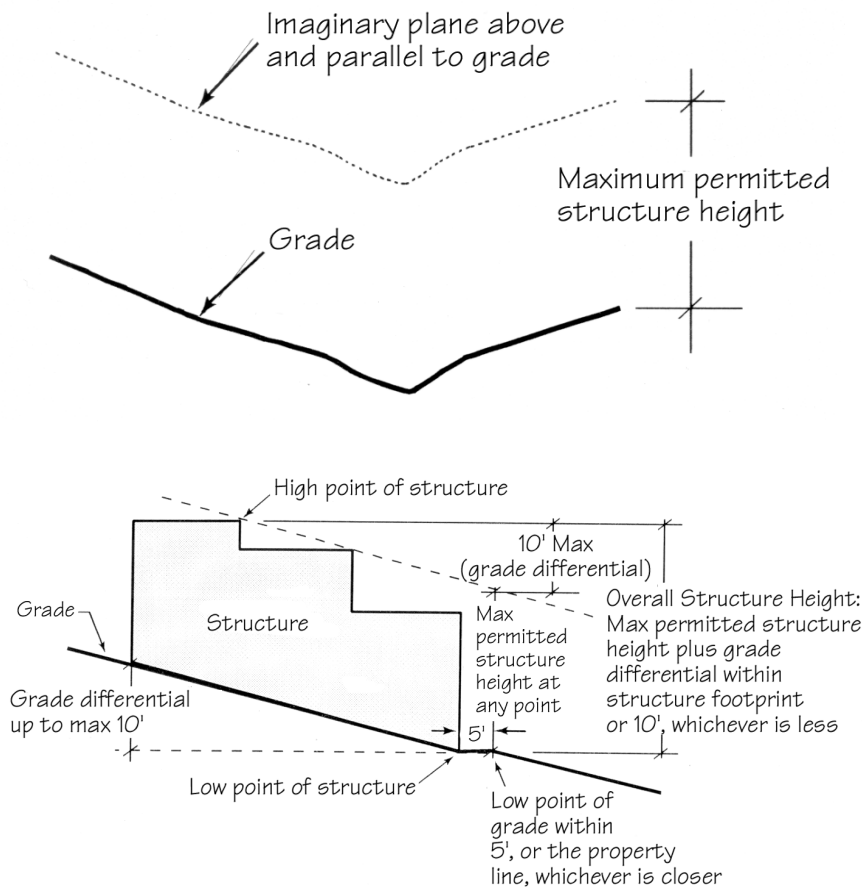
3. The Minimum Covered Outdoor Area is the square footage of roofed structures whether connected or not to a house. This outdoor area is the minimum square footage that must be built in addition to the enclosed building area built. The square footage is calculated based on the roofed area less the area created by the roof overhang dimension.

Second Floor Percentage Chart

<i>Total Enclosed Building Area (square feet)</i>	<i>Max. Percentage of 2nd Floor Enclosed Building Area to Total Enclosed Building Area</i>
<i>0 – 6,000</i>	<i>23%</i>
<i>6,001 – 6,500</i>	<i>22.5%</i>
<i>6,501 – 7,000</i>	<i>21.5%</i>
<i>7,001 – 7,500</i>	<i>21%</i>
<i>7,501 – 8,000</i>	<i>20%</i>
<i>8,001 – 8,500</i>	<i>19.5%</i>
<i>8,501 – 9,000</i>	<i>19%</i>
<i>9,001 – 9,500</i>	<i>18.5%</i>
<i>9,501 – 10,000</i>	<i>18%</i>
<i>Over 10,000</i>	<i>17.5%</i>

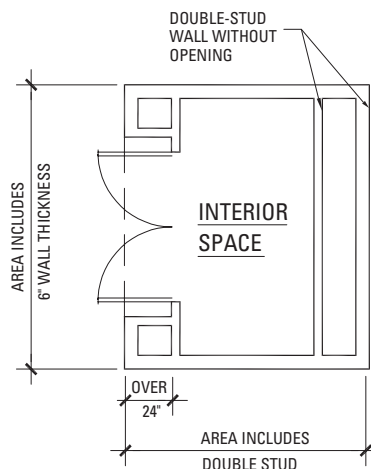
4. The Maximum Covered Outdoor Area is the square footage of roofed structures whether connected or not to a house. Santaluz encourages maximizing the Covered Outdoor Area. The square footage is calculated based on the roofed area less the area created by the roof overhang dimension.

5. The Total Allowable Building Area is the square footage of the sum of the Maximum Enclosed Building Area and the Maximum Covered Outdoor Area.



2.9.3 Rules For Square Footage Calculation

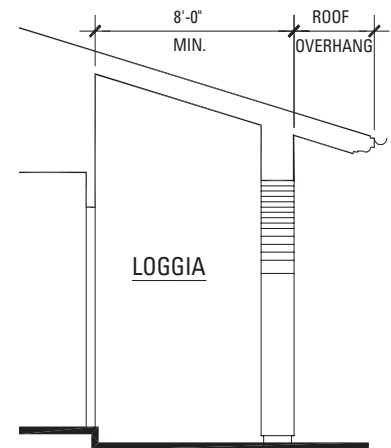
1. The first six (6) inches of exterior wall thickness measured outward from the interior wall surface will be included in the square footage of Enclosed Building Area.
2. The outermost wall and unfinished void space of a double-stud exterior wall shall be included in the square footage of Enclosed Building Area when: the outermost wall is over 24-inches measured outward from the interior wall surface or when a double-stud wall does not contain an opening to justify the double wall thickness.



3. The square footage occupied by an elevator shall be included only on the first floor level.

4. The square footage of the area below stair treads and landings shall be included once on the first floor level. The square footage of the volume ceiling area above a stairwell (exclusive of the tread and landing area) shall be included on each floor level.

5. The covered outdoor area such as loggias, porches, decks etc. shall be clearly identified. The square footage of these areas shall be calculated separately and excluded in the calculation of the Maximum Enclosed Building Area. All covered outdoor areas used in this calculation must be a minimum of 8'-0" deep, and should be usable. This rule applies to covered outdoor spaces on both the first and second floors.



6. Towers may not exceed 250 square feet. The square footage of towers shall be included only in the first floor square footage calculation.
7. Any 2-story structure having a floor area greater than 250 square feet will not be considered a tower and the area should be counted as second floor area.
8. Rooms with volume ceilings shall include the horizontal area located twenty (20) feet above the finished floor of a first floor elevation in the second floor square footage calculation.

9. Lightwells exceeding twelve (12) square feet shall be included in the first floor square footage calculation. A maximum of four lightwells are permitted. Lightwells shall be protected with grates.

10. Exterior basement stairs may be approved on a case-by-case basis. However, the square footage of the area they occupy shall be included in the first floor area.

11. Bay windows or architectural projections containing habitable space shall be included in the square footage calculation.

12. The following areas shall be excluded from the square footage calculation of Enclosed Building Area:

- Basements

Note: Basements are defined as usable building areas entirely below finished grade.

- Subterranean garages

Subterranean garages are structures that are located fully beneath the residence. A maximum sixteen (16) feet wide opening at the first floor level for vehicular access is permitted. No exterior ramps are permitted.

- Uncovered exterior stairs, however enclosed areas under stairs must be included in the first floor calculation.

- Fireplaces

Note: Each fireplace may only exclude fifteen (15) square feet.

- Covered Outdoor Area

2.9.4 Height

The maximum height of structures is thirty (30) feet. The height of the structure is the vertical distance measured from all points on top of the structure to finished grade directly below, not including a basement. Refer to the General Architectural Requirements for additional building height requirements.

	<i>Lots Less than 1-Acre</i>	<i>Lots 1-Acre or more</i>
<i>Interior Yard</i>	5'	5'
<i>Front</i>	20'*	25'*
<i>Side</i>	5'	10'
<i>Rear</i>	25'***	35'***
<i>Corner</i>	15'	20'

* Minimum front setback for La Jolla Valley Rim Lots is reduced to 15'. See Chapter 8.

**10' when next to the Santaluz Club and Santaluz Maintenance Association lot, 60'-120' if subject to the Brush Management Zone, see Chapter 7.

2.9.5 Story

Story is the area between finished floors, and the area between finished floor and finished roof.

2.9.6 Building Setbacks

Buildings shall have a five (5) foot setback from the Interior Yard line unless otherwise indicated on specific homesite plan or the City of San Diego required property line setbacks are more restrictive. Building setbacks between custom homes shall be fifty (50) feet except for some homesites with shared pads, where the setbacks inbetween are twenty (20) feet. In the case of Interior Yard Expansion, the resulting building setback line cannot get closer than fifty (50) feet to the neighbor's building setback line. All building structures shall setback from the street at least thirty (30) feet. Homesites may have additional restriction on building setbacks. These setbacks are recorded on each individual Homesite Exhibit.

2.10 Other Requirements

2.10.1 Driveways

Driveways between the local street and the motor court of the home should be of modest materials to retain the rural character at the overall village scale. Asphalt driveways best accomplish this. Gravel or decomposed granite is an acceptable alternative if the driveway is fairly flat (less than 5%). Cobbles, concrete or concrete pavers are not typically a rural-driveway material. More appropriate refinements to the driveway would be a natural stone edging or stone curb, a low natural stone dry wall, or a stone gutter, all of which would be very consistent with the desired rural character. Driveways shall be minimum sixteen (16) feet wide subject to City of San Diego regulations. Driveways may have only one point of entry from the street. Enhanced driveway material may be considered by the DRC if they occur outside of the streetscape zone.

2.10.2 Address Markers

Address markers shall be provided at driveway subject to section "5.3 Address Markers".

2.10.3 Parking

Parking areas and garage doors to the greatest extent possible, shall be concealed from view from the street or other off-site locations.

Required Parking

Garages: 3 cars minimum

Guest Parking: 2 spaces minimum within the interior Yard.

2.10.4 Grading and Drainage

Final pad grading and drainage may be modified if approved by the Design Review Committee to accommodate site design. Drainage must be maintained during construction. Homeowner may extend drainage system to accommodate Interior Yard drainage. Any revision to the drainage plan should not negatively impact another homesite or the Santaluz Community as a whole.

2.10.5 Recreation Facilities

Recreation facilities such as play equipment areas, pools and tennis courts must be screened and not visible from offsite subject to approval of the Design Review Committee. Night lighting of private tennis courts is not permitted. Portable facilities such as basketball hoops, trampolines, skateboard ramps, etc. must be used only on private property, and must be removed from view from offsite when not in use and overnight. Permanent basketball backboards and or goals are not permitted.

2.10.6 Pool

Special design consideration should be given to the amount, type, and location of pool and fencing. Negative edge pools, where grade allows, are encouraged to minimize fencing. Section 5.6 for wall and fence requirements.

Pool equipment should be located in a manner which complies with the San Diego County Health Code and the City of San Diego Requirements. The pool equipment must not be visible offsite, and the location of the equipment should minimize the impact of noise on neighboring lots.

The pool equipment should be fully enclosed with solid walls and a solid gate that match the adjacent exterior of the building.

The top of all equipment should be concealed from offsite views by substantial planting or a horizontal structure such as louvers or trellis.

Pool equipment must be either below grade or set back at least twenty (20) feet from the Property Line.

2.10.7 Accessory Structures

Accessory structures are permitted subject to City of San Diego regulations and all other requirements herein and approval of the Design Review Committee.

2.10.8 Barbecue Equipment

Barbecues may not be erected, constructed, or maintained, whether permanent or temporary, within any building restricted easements, setbacks or the front yard.



Site Planning
Other Requirements



Architecture



An enclave of homes in harmony with each other and the environment

3.1 Architecture and Landscape in Harmony

The architectural vision for Santaluz is a community of understated rustic dwellings that blend comfortably within the fabric of the natural landscape. Homes shall complement their natural surroundings and allow existing gentle hillside slopes, expansive open spaces and landforms to dominate. They shall express the simple, timeless quality and diversity found in older neighborhoods where houses were built individually and evolved over time. Authentic, low silhouette, and ground hugging homes are the primary housing type required to preserve pastoral vistas of the community. Natural construction materials, colors and design patterns provide design continuity and link these custom homes to nature.



The styles of Santaluz revere the beauty of Old World forms and craftsmanship

3.2 Rustic Precedents

The precedents for the architecture in Santaluz can be found in the rural areas of some of the most beautiful landscapes of Europe and the Americas. These buildings have a simple, restrained elegance. They lack pretension and sit gracefully on the land. Building masses are often asymmetrical, and appear to have grown over time, as they extend outward to embrace their site. The informal beauty of these types of buildings fits effortlessly into the vision of Santaluz.

3.3 Compatible Variety

The Custom Homesites Design Book offers the homeowner a choice of six compatible housing styles. After extensive research, these housing styles were identified and selected because they best support the creation of a cohesive architectural community well suited to the mild climate and landscape of Santaluz, while simultaneously promoting architectural diversity and individual expression. Architectural masterpieces of these styles can be found in some of the most prestigious communities of Southern California. The styles include Adobe Ranch, California Ranch, Andalusia Farmhouse, Santa Barbara, Provence Farmhouse, and Tuscany Farmhouse.



Attention to traditional proportions and authentic detailing result in a timeless architecture

3.4 Authenticity and Attention to Detail

Santaluz architectural styles require a great degree of aesthetic sensitivity and subtlety. Each home must make a simple honesty of expression. Structural elements must be functional, uncomplicated, and appropriately detailed. Decorative architectural elements should add richness and variety to the home without boasting loud, ostentatious, or pompous designs.

Authenticity is the principle objective required to achieve the rustic beauty established by architectural pedigrees. Custom home designs will be evaluated for consistency with historical precedents as gathered by the homeowner's design team. Careful research and documentation are required to insure that every aspect of a home is consistent with

the authentic character of its chosen style. General requirements apply to all styles. Specific style requirements include criteria from the following categories:

- Form, Massing and Hierarchy
- Roof Design
- Elevations
- Roof Details
- Entrance Details
- Window and Door Details
- Garage Details
- Loggia, Terrace, Balcony Details
- Chimney Details
- Ornamental Details

3.5 General Architectural Requirements

The following requirements apply to all custom homes.

3.5.1 Form, Massing and Hierarchy

1. All houses shall include varied vertical and horizontal massing. Floor plans shall be designed to allow the building to follow the contour of the lot and building forms are encouraged to be “bunkered” into the hill.

2. Two-story houses shall have one-story wings. Two-story massing is encouraged with single story projecting wings. Two-story massing is subject to the provisions of the Homesite Exhibit and the charts located in “2.9.2 Max. & Min. Square Footage Requirements” of this Design Book.

3. Except where permitted elsewhere in these guidelines, all external building corners shall form 90-degree angles in plan.

4. Carports are not permitted. Parking bays however may occur beneath trellises on a case-by-case basis. The criteria for approval shall be whether the parking bays provide adequate concealment from public views and adjacent properties.

5. Towers shall be located on the perimeter of the house except where otherwise permitted by a chosen style. Towers on the exterior of a building shall be visibly grounded on one or more sides. Only one tower is permitted per house. Towers will be approved on a case-by-case basis, as deemed to be appropriate by DRC.

6. The exterior walls of one-story wings shall either be flush with an exterior wall of a Tower or project 6-feet or more perpendicular or tangent to a Tower.

7. Wings forming an obtuse angle to a Tower may not overlap the corner of a Tower.

8. Any finished floor may be a maximum of 5'-0" above the nearest adjacent natural grade, and height limitations will be measured from this finish floor elevation.

9. Cantilevered decks and balconies where permitted shall maintain a minimum distance of 3 feet from adjacent walls and roofs.

10. There shall be a maximum of five chimneys per house. Each chimney may have a maximum of two flues.

11. The end-walls of gable or hip roofs of one-story wings containing major living spaces such as Living Rooms, Family Rooms, Dining Rooms, Kitchens, and Bedrooms shall extend a minimum horizontal distance of 10-feet beyond an adjacent larger massing of the house.

12. The end-walls of gable or hip roofs of one-story wings containing minor spaces such as bathrooms, service rooms, storage rooms, closets, and stairs shall project a minimum horizontal distance of 6-feet beyond an adjacent larger massing of the house.

13. The low end-walls of shed roofs of one-story spaces shall project horizontally a minimum of 3-feet beyond an adjacent larger massing of the house.

3.5.2 Building Height Requirements

Note: plate heights are measured from the top of slab; maximum ridge heights are measured from the top of the original rough grade.

1. Minimum 1-story plate height: 8' above adjacent Finish Floor (A.F.F.)

2. Maximum 1-story plate height: 12' A.F.F.

3. The maximum 1-story plate height shall be limited to 9 feet or less for a minimum of 60 percent of the total roofed perimeter. Plate heights of open courtyard spaces are included, while plate heights of courtyards which are not open should not be counted. Gable wall plates are not included.

4. Maximum 2-story plate height: 21'

5. Maximum vertical step within 1 or 2 story roof planes: 3'

Note: This does not apply to roof planes adjacent to towers

6. Maximum 1-story ridge height: 21' Above Finish Grade (A.F.G.)

7. Maximum 2-story ridge height: 30' A.F.G.

8. Maximum 1-story tower height: 25' A.F.G.

9. Maximum 2-story tower height: 30' A.F.G.

3.5.3 Roof Design

1. Maximum roof span: 38 feet (span does not include roof eave overhangs)

Note: Roof pitch breaks may be used to extend the maximum allowable roof span.

2. Maximum roof slope: 4:12

3. Minimum roof slope: 3:12

4. Minimum roof slope of a pitch break: 1.5:12

5. Maximum heel height: 12 inches

Note: The heel height is the vertical dimension measured above a point on the exterior wall from the top of bearing plate to the top of a rafter or truss.

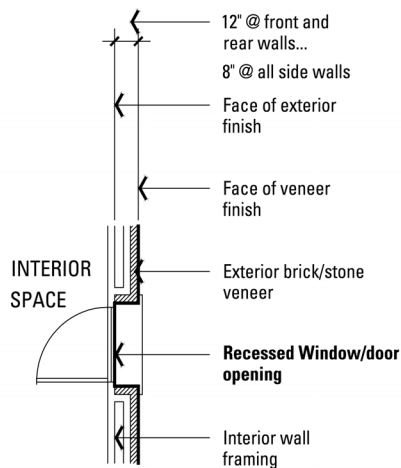
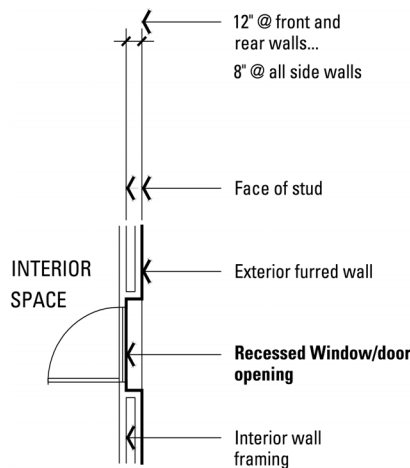
6. Roof beaks under 3 feet high are discouraged and will be reviewed on a case by case basis. Efforts should be made to ensure that ridges are either continuous to a gable termination, or should otherwise meet an intersecting roof at or below the ridge line.

Note: A roof beak is a small hip or gable roof that projects slightly above a ridge-line.

7. Parapet walls: Not permitted.

8. Flat roofs: Not permitted.

9. Roof dormers: Not permitted.



Recessed Doors and Windows

10. Crickets and Saddles: Permitted size and visibility of crickets should be a minimized and may require comparable roof material to be applied around chimneys and Towers.

Note: Crickets may be approved elsewhere under exceptional conditions on a case-by-case basis.

11. Minimum clear dimension between finished roof and window sill: 6 inches

12. Maximum height of chimney terminations: 4-feet above a point on the closest roof within 10-feet horizontal from the chimney termination.

13. Chimneys, which penetrate or extend above a single-story building component, may not project above any adjacent second story unless they are attached to a second story wall.

14. All flashing, sheet metal, vent stacks and pipes shall be dirty penny copper or painted to match adjacent building surfaces.

15. Roofs with M-shaped profiles are not permitted. These profiles are created when parallel ridges share a common valley.

16. Exterior walls shall offset vertically or horizontally a minimum of 24 inches, so that the eave of one roof does not intersect the rake of another.

17. The side profile of eaves (including gutter) shall only be visible on exterior building corners and on the sides of a chimney. Eave side profiles (including gutters) shall not be visible where an eave-line abuts a wall, balcony, deck or similar structure.

18. The following roof forms are not permitted:

- Gable roofs with unequal roof slopes
- Roofs having double slopes where the lower slope is steeper than the higher slope. An example of this is a mansard roof.
- Hip-on-gable or gable-on-hip roofs are not permitted. A hip-on-gable is a roof having a hipped end truncating a gable roof. A gable-on-hip is a roof having a gable roof over a hip roof.

3.5.4 Elevations

1. All houses shall express a four-sided architecture. All elevations (including interior courtyard elevations) shall have the same level of quality. All roofs, exposed structural elements, walls, windows, doors, and detailing shall express a consistent level of enhancement.

2. All elevations shall have a minimum of three vertical and/or horizontal plane breaks. An entire elevation view shall not be comprised of a singular, flat, uninterrupted wall plane. Substantial wall mass is an inherent characteristic of the architectural styles allotted for these lots, and is encouraged in each design. Contour of the land, together with the composition of the floor plan should provide sufficient plane breaks. Openings in the exterior walls shall be spaced and organized according to the requirements of the specific architectural style.

3. Doors and windows in stone, brick, adobe, or stucco clad walls shall be recessed into exterior wall surfaces. Refer to individual styles and diagram above for specific depth requirements.

4. Garages facing the street shall not have more than two single-car doors or one double-car garage door.

5. All antennas and satellite dishes are restricted to the attic or interior of the residences or obscured from view by others.

6. Skylights may not be placed on the front or side elevations. Skylights shall be designed as an integral part of the roof. Skylights shall be flat bronze colored glass in bronze anodized frames. Bubble and white plastic skylights are not allowed. Skylight glazing must be divided into panes not exceeding 24-inches in width.

7. Chimney terminations shall not expose screen spark arrestors. Chimney terminations may have stucco-finished shrouds, be capped with cast-stone, or roofed as required by specific styles. Sheet metal shrouds are not permitted. Prefabricated chimney terminations and screen spark arrestors shall be completely concealed from view. Individual chimneys may have a maximum of two flues and shall not exceed 15 square feet in cross-sectional area unless approved by the Design Review Committee.

8. The maximum garage door height is 10-feet. The maximum single-car garage door width is 9-feet. The maximum double-car garage door width is 18-feet. On a case by case basis, single-garage door width can be 10 feet provided that number of garage doors with maximum width can not exceed two in a single elevation.

9. Exterior wainscots that project from the exterior wall surface shall be considered on a case-by-case basis and authentic supportive imagery must be submitted.

10. Gable vents shall be true gable vents. False vents are not permitted.

11. Walls perpendicular to window or door openings may not be flush with the plane of a window jamb. A significant distance must be placed between perpendicular walls and door or window jambs.

12. Excessive use of arches dilutes their significance. Arched openings shall be used sparingly and shall be limited to important living spaces within the house.

13. Loggia arches shall spring from columns or within columnar wall planes. Loggia arches shall not spring from walls perpendicular to arched openings creating a flush springline condition.

14. Stone cladding may be used where appropriate to a housing style. In the event an owner desires to incorporate a stone material in their architectural style, it is recommended that they use only natural stone. The application of man-made stone, artificial, faux stone, or cultured stone is not recommended. The criteria for use of faux stone will be stringent relative to material, color, mortar and installation details. The Design Review Committee reserves the right to disapprove the use of a particular stone material whether natural or artificial if it is determined that the

material is inconsistent with the designated architectural style or color of other materials submitted. See section "9.5 Step No. 2 — Design Development Submittal"

15. Brick masonry may be used where appropriate to a housing style. Brick veneer shall be 4-inch nominal depth. Brick pavers or thin-set brick units are not permitted as exterior wall veneers.

16. Gutters, downspouts, collectors and fasteners shall be fabricated from dirty penny copper or painted galvanized steel. Aluminum or plastic gutters are not permitted. Gutters shall have half-round profiles.

17. Downspouts shall have circular cross-sections. In most cases, a 5-inch diameter half-round gutter, double-beaded and mounted at 30-inch on center and a 3-inch diameter downspout mounted with a minimum of two mounting brackets per 10-foot section will meet the design intent of these guidelines. Other shapes may be approved on a case-by-case basis when they reflect an authentic detail of the house's style. Downspouts shall be connected to an underground storm water system. Downspouts and rain leaders shall be located at building corners. Downspouts located in other locations shall be approved on a case-by-case basis. Decorative collectors may only be used to divert rain leaders within exterior walls.

3.5.5 Roof Details

1. Clay tiles shall be two piece barrel units, flat clay tile units, or two-piece Roman pan units as required by the house style.

Wherever two-piece clay roof tile is permitted, "S" roof tile may be used subject to all the following criteria:

- "S" roof tile shall give the appearance of a full two-piece roof.

- "S" roof tile shall have a two-piece starter course.
- A minimum of 30% of the field area must be boosted with additional tops in the same blend and percentages as the "S" tile. A minimum of 3 out of 10 "S" tiles shall receive boost tops.
- Mud boosts shall occur where the tile boost docks and shall be tucked under the S-crown.

2. Two-piece clay tiles shall have mud boost first courses and random boosts throughout.

3. The eaves of clay tile roofs shall have mudded birdstops. Preformed clay tile birdstops or metal birdstops are not permitted.

3.5.6 Window Details

1. Individual window units shall be proportioned according to the requirements of the building's style however they shall not exceed 5 feet in width.

2. Individual window units may be grouped into composite units of any width provided the resulting window proportions and width are authentic and true to the chosen house style. Posts may also be used to separate individual windows, provided that the exterior detailing of these window groups incorporates a compatible wood trim surround within the required recess. Alternative window mullions may be considered on a case-by-case basis, provided they are accompanied by authentic, supportive imagery.

3. All windows of a home must express a consistent and uniform intent in their proportions, orientation and divided light patterns.

4. Mirrored or colored glass is not permitted on the exterior elevations.

5. Window frames and mullions shall be wood, metal-clad wood, or steel. Except where permitted elsewhere, true divided lights are required. Aluminum, vinyl, vinyl-clad wood, or fiberglass-clad wood windows are not permitted.

6. Individual picture window units where permitted shall not exceed 5-feet in width. Each house may have one picture window unit on its rear elevation. Two additional picture window units may be approved on a case-by-case basis depending on concealment from public view. These picture window units may be located on side or courtyard elevations provided they are completely concealed from curbside eye-level view. Curbside eye-level view is the view seen from a point 5-feet above a street curb at any point along its length.

7. Circular, elliptical, square and arch-top windows may be used as accent windows in a limited number of locations depending upon the chosen style. The use of these window types shall be approved on a case-by-case basis. Triangular or other similar geometrically shaped windows are not permitted.

8. Triangular shaped windows are not permitted except restricted use is permitted in glassed-in walls in the California Ranch style.

9. Glass block units are not permitted on exterior walls.

10. When wood headers are expressed over window or door openings, the recessed soffit shall be wood planking.

3.5.7 Door Details

1. Entry doors shall be vertical wood plank, wood stile-and-rail doors, wood doors with raised panels or geometric carved patterns as appropriate to each house style. Additional entry door types may be permitted depending upon the chosen style.

2. French doors may be used subject to style requirements. French doors shall have true divided lights except where French doors are located on side or rear elevation, are beneath a covered loggia or porch, and are completely concealed from curbside eye-level view.

3. Sliding glass doors shall be considered on a case-by-case basis and are only permitted at exterior wall openings leading to an enclosed courtyard or covered outdoor space. These doors shall have a frame/sash similar to all other exterior French doors.

4. Garage doors shall be recessed a minimum of 12 inches into the exterior wall.

5. Garage doors must be hand crafted in appearance and constructed of wood. Metal doors are not allowed.

6. Windows are not allowed in garage doors.

7. All garage doors shall be single car or double car garage doors.

8. The minimum dimension between adjacent garage door openings is 18 inches.

9. Sliding motor court gates or doors may be used provided the operating mechanism and closing hardware is completely concealed from public view.

10. Screen doors may be used within openings concealed within a courtyard or similar spaces. Screen doors are not permitted on entry doors. However, they may be approved at other locations on a case-by-case basis.

3.5.8 Ornamental Details

1. Decorative elements shall appear as functional elements. Decorative elements, materials, and details shall not appear to be "fake" or cosmetically applied. Balconies, gable vents, exterior lighting, and shutters should be functional. False chimneys may be approved for mitigation of an architectural detail on a case-by-case basis.

2. Exterior lights may not be mounted on top of courtyard walls or pilasters.

3.5.9 Mechanical Equipment

1. All air conditioning/heating equipment, water tanks, gas meters, electric meters, pool equipment and other utilities must be screened and not visible from off-site subject to approval of Design Review Committee. Sound attenuation measures shall be incorporated. All meters shall be accessible behind wood doors that compliment the architecture.

2. Solar panels may be located on the rear elevation only and shall be approved on a case-by-case basis. Solar panels shall be integrated into the roof design and be flush with the slope. Frames shall be colored to compliment the roof. Clear anodized finished aluminum frames are prohibited.

3. Roof mounted mechanical equipment is not allowed.

4. Recessed or surface mounted lights are not permitted in garage door soffits.

5. Homeowners may be required to provide an approved sprinkler system and are encouraged to confirm requirements with the City of San Diego Fire Department.

3.5.10 Color

Color exerts a tremendous impact upon the visual perception of the community. Houses designed with the most authentic proportions and scale, with the greatest attention given to detailing, and the highest sensitivity to the land will lose its integrity if an appropriate color scheme is not applied. Selecting appropriate exterior colors is therefore a critical factor in accomplishing the Santaluz vision. Continuity between the colors of a home's architectural style and adjacent homes, nearby structures and landscaping must be established. It is the intention of Santaluz to preserve and enhance the appearance of the natural landscape and preclude the use of building colors that are predominantly brighter than a house's natural surroundings. The color of all exterior building surfaces shall replicate the hues drawn directly from the soil, rocks and foliage of the site. In general, these hues shall be darker and could be described as warm in character. Architectural styles however may temper the hue and brightness of certain colors.

A Santaluz Custom Homesite Color Palette has been created to assist in the selection of appropriate colors. It is organized according to authentic housing styles. Approval of the use of these colors will be based on their appropriateness to surrounding homesites, natural landscape, and whether colors used in combination are complimentary.

This color palette is available for review at the Design Review Office.



Expansive wall area provides a canvas for decorative ironwork and exotic landscape

3.6 Andalusia Farmhouse

3.6.1 Context

Until 1492, the southern parts of Spain or al-Andalus were ruled by an Arabian caliphate. A Moorish influence therefore is prevalent in the Andalusia Farmhouse. It borrows inspiration from the Moorish Courtyard house in which a series of rectangular dwelling units are organized around an inner private Courtyard. This courtyard is the home's innermost sanctum and is enclosed by high walls. Secondary patios also serve as primary living spaces and garden retreats. Consistent with the Moorish "architecture of the veil" philosophy, the Andalusia Farmhouse establishes distinct public and private spaces. The front of the house that faces the public

expresses long expanses of wall surfaces. Except for the window openings widely spaced along the wall surface, these public walls are relatively devoid of surface embellishments. The primary decoration of these public walls is accomplished by the beautiful display of wrought iron window grilles. The rear and courtyard facing walls of the house express a more open and decorative attitude. Openings are larger and decks and loggias capture views of the Courtyards.

Interest in the Andalusia Farmhouse was rekindled in the 1920's. Numerous pattern books were created and distributed to architects by manufacturer's promoting the use of stucco. Wallace Neff, George Washington Smith and Maria

Lutah Riggs have designed some of the most inspired examples of this style during this period.



Casual formality and stepping of subservient forms support the importance of major living spaces

3.6.2 Form, Massing and Hierarchy

1. The house establishes a hierarchy of forms. Primary two-story rectangular massing combines with one-story rectangular wings. Rectangular forms are organized around a central courtyard and multiple private courtyards.
2. Building corners shall be 90 degrees.
3. Towers shall be rectangular in plan.

3.6.3 Roof Design

1. Simple gable roofs are the primary roof forms. Hip roofs may be used on towers and when necessary to turn building corners. The use of hip roofs at building end walls shall be approved on a case-by-case basis.
2. Roof slopes are low.
3. Roof valleys are minimized.
4. Roofed passageways, loggias, terraces, and decks shall expose heavy timber framing.
5. Flat roofs are not permitted.



This tall watchtower displays its original Moorish exposed brickwork



Front elevations present a reserved stately demeanor



Rear courtyard elevations open views and access the outdoors

3.6.4 Elevations

1. A distinct characteristic of this style is the use of thick massive walls. These walls may be stucco finished or natural or whitewashed brick. Where brick is used, brick shall not have precise machine made edges and stucco finished stud wall construction shall not be combined with the use of brick except towers and privacy walls may be white-washed brick and the main house may be stucco finished.

2. All wall openings visible from the curbside (5 feet above the curb) of the street shall be rectangular except a few arched openings may be approved on the front elevation on a case-by-case basis. Concealed openings facing private courtyards may be arched.

3. Loggias and decks may have arcades.

4. Openings shall be deeply recessed. All openings shall be recessed a minimum of 12 inches on front and rear elevations and a minimum of 8 inches on all other elevations. Recessed openings shall be measured from the exterior face of door or window frames to the outside finished face of the exterior wall. Openings located beneath covered outdoor loggias, covered porches, and covered terraces that are a minimum of 8-feet deep need only to be recessed 8-inches.

5. Building elevations facing the street (public view) are relatively closed and guarded. Expansive wall surfaces are punctuated by relatively few small openings. Wrought iron grillwork often frame windows to provide security and decoration.

6. Openings on elevations facing rear yards, central or private courtyards are designed to bring views and daylight into the house. Courtyards are extensions of the house therefore the openings are more numerous and larger than the openings on the front elevation.

7. Exposed heavy timber roof and deck framing. Exterior stucco deck soffits are not permitted.

8. Facades shall be plain stucco with decorative wrought iron grille work window accents. Moorish designed openings, arcades, and patterns may be used sparingly as accents on elevations facing the rear yard and private courtyards. Care must be exercised in limiting the use of Moorish patterns so that the house maintains a farmhouse quality and does not take on the character of a palace.

9. Openings shall be held a significant distance from building corners. The jamb to corner distance shall be at least 24 inches. Smaller distances may be approved and larger distances required on a case-by-case basis.

3.6.5 Roof Details

1. Roofing materials shall be two-piece barrel clays or, if approved, clay "S" tile.
2. Eave overhangs range from medium (12 inches) to deep (20 inches).
3. Eave types include:
 - Exposed heavy timber rafter tails with profiled Spanish style profiled end cuts.
 - Corbelled sawtooth brick fascias
 - Continuous stucco fascia with compound curved profile
4. Rakes shall be flush.

3.6.6 Entrance Details

1. There are two main entrance types:
 - Entrances through porticos of entry courtyards
 - Entrances located on the long side of the two-story portion of the house.
2. Entry portico designs will be approved on a case-by-case basis. Designs that dwarf human scale or appear ostentatious will not be approved.
3. Entry courtyard walls may not be higher than 7 feet except that entry portals may be 11 feet high.
4. Entrance doors shall be substantial and large. They shall be deeply recessed behind the exterior wall plane. The wall surface, jamb and soffit of the entrance opening may be clad with a cast stone surround. This surround should be simple and contain few carved patterns. Its design should not be overly ornate.



Main entrances might be slightly oversized



Heavy timber beams support rafter framing with decorative profiles



Corbeled bricks support projecting clay tiles with mudded bird stops



Decorative iron clavos and hand wrought hardware were used to construct entry doors. Door bells are works of art



Garage doors employ hinged swing doors rather than overhead closing technology. Speak-easies are common door features



A door knob slightly off center indicates a double swing entry door

3.6.7 Window and Door Details

1. Windows shall be casements or fixed sash windows with true divided lights. Casement windows shall be grouped in pairs. Openings with single casement windows shall be limited to a few locations.
2. Window units and window composites shall be vertically proportioned. Window heights shall always be greater than a window's width.
3. Windows shall be deeply recessed into thick exterior walls.
4. Windows shall have sloping stucco sills.
5. Window openings shall not be decorated with trim projecting from the face of the exterior wall.
6. Heavy timber headers may be expressed over openings in exposed brick walls. When expressed they shall extend at least 12 inches beyond the jambs and the opening's soffit shall be timber finished.
7. Doors may be vertical wood plank or wood doors carved with Spanish geometric designs. French doors with true divided lights may be used on exterior walls of the rear elevation and walls within private courtyards.
8. Door hardware on the front and side elevations shall appear to be hand forged ornamental wrought iron hardware.

3.6.8 Garage Details

1. Garage doors are wood plank doors with exposed "Old World" iron hardware.

3.6.9 Loggia and Balcony Details

1. The use of Juliet balconies is limited to a few accent locations. They shall not project over 16-inches from the face of the exterior wall plane. They may only be accessible from a single pair of doors.
2. There are four basic deck types:
 - Cantilevered decks with heavy timber exposed framing. Cantilevered deck beams shall have Spanish style decorative end cuts.
 - Decks set behind large openings that penetrate the exterior second floor.
 - Decks supported over an arcade.
 - Decks supported by heavy timber post and beam construction.
3. Decks shall be roofed.
4. Deck material may be wood plank or clay tile.
5. Deck guardrails shall be wood railing and turned wood pickets or solid stucco finished walls.
6. Heavy timber wood posts when used to support decks or deck roofs shall be capped with decorative wood brackets.
7. There are two basic exterior stair types:
 - Cantilevered stairs with exposed stringers. Handrails shall consist of decorative iron rails and pickets or wood rails and turned wood pickets.
 - Stairs with continuous stucco finished guardrail walls. These stairs emulate masonry constructions with load bearing walls and clay tile paver treads.
8. Loggia and Patios:
 - Loggia arcades may have full round arches or Moorish style arches. These may spring from cast stone columns of a classic Spanish order or may be arched openings cut into deep stucco



Decorative turned picket, roof tiled edges and heavy timber framing create an elegant deck solution



Fabric awnings and Moorish detailing adds a Mediterranean atmosphere to courtyard



Colorful mosaic wainscots and toothed arches decorate this courtyard

finished or brick walls (12 inches minimum). Care must be taken to ensure there is a significant dimension between the top of the arch and the bottom of framing of a deck or roof above.

- A Patio or Loggia may be framed with heavy timber. Posts shall be capped with decorative wood brackets.
- A Patio or Loggia may have a rectangular openings cut into deep stucco finished or brick walls (12 inches minimum).
- Loggias, porches, and covered terraces shall be a minimum of 8-feet deep.



Low ceiling, wide half round arch and wood spindle rejas create an intimate outdoor space



Chimney caps may mimic detailing of the main roof



Traditional basked shaped rejas



Stucco grilles were slotted brick openings



Some rejas express exquisite high art in their bar and flatwork design

3.6.10 Chimney Details

1. Chimneys shall be square or rectangular in plan.
2. Chimney terminations shall have simple stucco or tile roofed terminations.

3.6.11 Ornamental Details

1. Decorative wrought iron window grilles or “rejas” may frame window openings. Rejas may be used liberally over windows on the front elevation. They may project over extended stucco sills. Rejas shall not be used over French doors.
2. Stucco grilles may frame over recessed window openings. These grilles are common on the front elevation. The placement and quantity of these grilles must not be overused.
3. Brick or clay tile pavers shall not be used on windowsills of windows in stucco-finished walls.
4. Shutters shall not be used on exterior walls. Wood shutters were sometimes used on the interior side of exterior walls.
5. Stucco potshelves on the first floor must extend to grade and may not be cantilevered or supported by corbels.



Architecture



The Provence Farmhouse ideally suits its tranquil setting

3.7 Provence Farmhouse

3.7.1 Context

The idyllic farmhouses of Provence have inspired homeowners and architects throughout Southern California. These medieval farmhouses captured the pastoral beauty of the landscape. They were constructed of readily available field-stone and timber. Often the masonry walls were covered with colorful earth tone stucco finishes. Floor plans were additive and rooms were organized around a large rectangular courtyard. Living spaces generally oriented facing orchards or vineyards facing the south-eastern or eastern side of hills and took advantage of the natural sunlight on south facing hillside slopes. While irregular shaped dressed stone was sometimes used to strengthen building

corners and around openings, quoins were not used because they were too expensive and required a team of professional masons to install. The roof was covered with clay tiles and roof eaves display a distinctive corbelled stacked arrangement of tiles called the “genoise” eave. Other distinguishing elements of this style include brightly colored wood shutters, casual placement of window openings, use of the French (flattened) arch, wrought iron vine trellises, and additive massing that responds to the rise and fall of the topography.

3.7.2 Form, Massing and Hierarchy

1. The house establishes a hierarchy of forms about a single dominant gable roofed two-story volume. One and two-story rectangular forms spread out in wings to define outdoor living spaces. The house shall include a private courtyard.
2. The overall massing shall emphasize the horizontal plane as viewed from the street.
3. Massing may be informal and additive as though large building units were added over time and adjusted to the existing landforms.
4. Building corners shall be 90-degrees. Acute building corners are not permitted. Obtuse building corners may be approved on a case-by-case basis.
5. Towers shall be rectangular in plan.
6. Exterior stairs shall have solid guard-rail walls.

3.7.3 Roof Design

1. Simple gable roofs are the primary roof forms. Secondary roofs include hip roofs and shed roofs. Hip roofs may be used on towers and on a few major volumes.
2. Roof slopes are low.
3. Roof valleys are minimized.
4. Roofed passageways, loggias, terraces, and decks shall expose heavy timber framing.
5. Flat roofs are not permitted.



Building massing and roof slope harmonize with the gentle rolling hills beyond



Gable and shed roofs are combined to minimize roof valleys



Natural stone walls create a timeless building form. Limestone was used to strengthen building corners and openings



Window and door openings were informally placed as required by interior rooms



Planter boxes, wood shutters, French arches, and iron wall lamps create a distinctive Provencal character.

3.7.4 Elevations

1. A distinct characteristic of this style is the use of thick stone-walls. Stucco was sometimes applied over these course stone-walls. Transitions between stone and stucco-clad portions of a house shall occur at locations that appear to be the logical result of additions added over time. The use of stone or stucco shall not appear to be applied materials that simply accent walls or otherwise decorate the building.

2. The primary wall opening shape shall be rectangular; however flattened French arches may be used. Roman half-round arches are not permitted.

3. Loggias and decks may have arcades.

4. Openings shall be deeply recessed. All openings shall be recessed a minimum of 12-inches on front and rear elevations and a minimum of 8-inches on all other elevations. Recessed openings shall be measured from the exterior face of door or window frames to the outside finished face of the exterior wall. Openings located beneath covered outdoor loggias, covered porches, and covered terraces that are a minimum of 8-feet deep need only to be recessed 8-inches.

5. Exposed heavy timber roof and deck framing.

6. Openings shall be held a significant distance from building corners. The jamb to corner distance shall be at least 24 inches. Smaller distances may be approved and larger distances required on a case-by-case basis.

7. Wood plank or louvered shutters may be used as necessary. There should be logical consistency in the use of shutters so that their placement does not appear to be purely decorative.

8. Tall wood plank shutters may be used over French doors. These may be bi-fold shutters where openings are spaced close together.

9. Shutters shall be held a significant distance from building corners and from shutters of adjacent openings. Sufficient dimension must be established to emphasize the dominance of masonry construction. The minimum distance between adjacent shutters shall be one shutter width. The minimum distance from the edge of a shutter to a building corner shall be approved on a case-by-case basis.

10. Juliet balconies may be used on a few locations. The balcony deck shall be cast stone with wrought iron railings.

11. Cantilevered decks and second floors are not permitted.

12. Dressed corner stones or quoins are not permitted. Corner stones may be used however they must be irregular shaped and not laid on regular horizontal mortar beds.

13. Windows may be placed randomly on the facades and shall not be required to stack over openings below.

Note: Brick and stone are permitted in the Provence Farmhouse style. Refer to Section 3.5.4 Item 14 & 15.

3.75 Roof Details

1. Roofing materials shall be two-piece barrel clay or, if approved, clay "S" tile.
2. Eave overhangs shall be 12 to 30 inches deep.
3. Eaves types include:
 - Genoise eaves are eaves whose fascias are composed of corbelled rows of clay tile roofing. A minimum of three rows of roofing tiles must be exposed.
 - Heavy timber rafter tails may be exposed on roofed patios. These rafters were actually purlins called 'chevrons'. They should be greater in width than height. The ends of the purlin tails may have decorative low-profile end cuts.
4. Rake overhangs shall be minimal.
5. Parapets are not permitted.
6. Shed roofs must engage an exterior wall on its high side.



A genoise eave at a hip condition



A genoise eave with gutter and downspout

3.76 Entrance Details

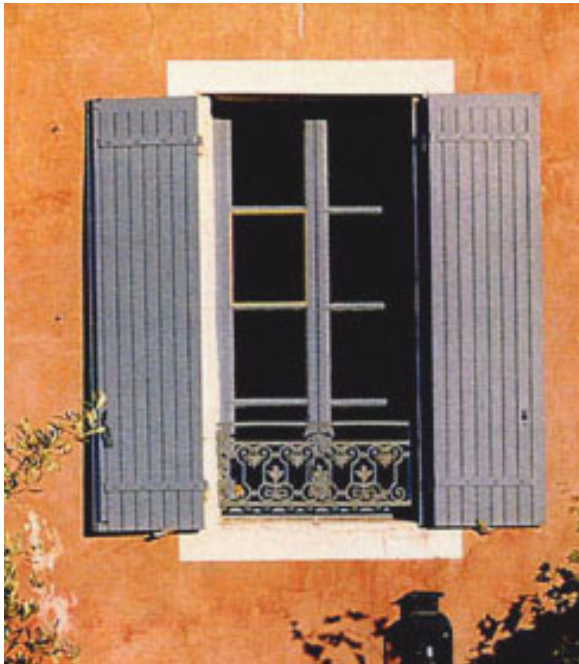
1. Flat, half-round, and French arched openings may crown the primary entrance. Entry surrounds may be framed in simple cast stone surrounds or deeply recessed into stone-walls. Entry surrounds should have a rustic quality and not reflect an imposing refined high renaissance style.
2. Entry portals may be arched gated openings. These will be approved on a case-by-case basis. Designs that dwarf human scale or appear ostentatious will not be approved.
3. Entry doors shall be wood plank, raised panel or style and rail doors with hand forged decorative hardware.



Raised wood panel entry door



A country style three-quarter glass door with split louvered full height shutters



A wood plank shutter and cast iron inset railing



A style and rail door with plank members

3.77 Window and Door Details

1. Windows shall be casements or fixed sash windows with true divided lights.

Casement windows shall be grouped in pairs. Openings with single casement windows shall be limited to a few locations.

2. Window units and window composites shall be vertically proportioned. Window heights shall always be greater than a window's width.

3. Windows shall be deeply recessed into thick exterior walls.

4. Windows may have slightly sloping stucco sills or cast stone sills. Steeply sloping sills are not permitted.

5. Window and door openings may be decorated with cast stone trim projecting from the face of the exterior wall.

6. Half-round transom windows shall be limited to a few accent openings.

7. The use of heavy timber over openings shall be limited to garage door openings in stone walls.

8. Doors may be vertical wood plank, wood doors with raised panels, style and rail doors, and French doors with true divided lights.

9. Door hardware on the front and side elevations shall appear to be hand forged ornamental wrought iron hardware.

10. The rear elevation and elevations facing courtyards may have large expanses of glass. These shall be windows with true divided lights or French doors with true divided lights.

3.7.8 Garage Details

1. Garage doors are wood plank, raised panel, or style and rail carriage doors with exposed “Old World” iron hardware. Windows are not permitted in the garage doors.

3.7.9 Loggia and Balcony Details

1. Juliet balconies may serve a single pair of French doors. Balcony decks shall be cast stone with decorative iron railings.

2. Decks shall be roofed. Columns supporting decks and deck roofs shall be massive rectangular stone or stucco columns. Heavy timber beams may support roof framing between stone columns.

3. Deck guardrails shall be stone or solid stucco finished walls with masonry caps. Wood or iron guardrails may be approved on a case-by-case basis.

4. Exterior stairs shall have continuous stucco or stone guardrail walls. These stairs emulate masonry construction with load bearing walls and brick or clay tile paver treads. Stucco guardrails may have cast stone caps.

5. Loggia and Patios:

- Loggia arcades shall have basket handle or flattened arches. Half round arches are not permitted.
- Loggia, patio, or terrace columns shall be massive rectangular stucco or stone columns or cast stone classical columns with circular cross-section. Heavy timber posts and Tuscan style columns are not permitted.
- Arcades must have equal bay and column spacing. Where arcades turn a corner, corner bays shall be equal. Where the dimension is insufficient for an equal bay, a wall shall close the short dimension. This wall shall not engage a circular column.



A simple wood plank garage door



A deep recessed shed arcade spans the rear elevation facing a garden court



Slightly arched cap terminates this side slotted chimney



Operable high louvers allowed views outdoors while concealing the observer inside. Wave pattern iron railing pickets are a common motif

3.7.10 Chimney Details

1. Chimneys shall be narrow in width (2'-6" max.) and either square or rectangular in plan.
2. Chimneys shall be located within the exterior walls and shall not project outside the face of an exterior wall. The exception to this rule are chimneys of outdoor fireplaces located within outdoor living spaces or courtyards.
3. Stone chimneys shall extend from rooms with stone clad exterior walls and stucco clad chimneys shall extend from rooms with stucco exterior walls. Exceptions to this rule shall be approved on a case-by-case basis.
4. Chimney terminations shall have tile roofs. Tile roofs may be gable roofs with gable end walls or tiles constructed as A-frame roofs with open end walls. Other terminations may be approved on a case-by-case basis.

3.7.11 Ornamental Details

1. Wood louvered or plank window shutters may be used as required. They shall be operable and completely cover the opening when closed so that the outside face of the shutter is flush with the surface of the exterior wall. This requires a recessed stop detail in the window opening.
2. Gable end vents are not permitted.



Architecture
Provence Farmhouse



Formality and order are key elements of the Tuscany Farmhouse

3.8 Tuscany Farmhouse

3.8.1 Context

Tuscan farmhouses are scattered throughout central Italy. Many are located on hillside corners far away from publicly maintained roads and public transportation. These medieval farmhouses were often built as self-sufficient complexes around a central open courtyard or “cortile”. They generally commanded picturesque views of surrounding pastures, olive plantations, vineyards and fields and forests. Tuscan farmhouses were practical structures

built using simple timber and masonry construction techniques using readily available building materials. Distinctive architectural elements of the Tuscan Farmhouse include the adherence to formal axial relationships and the orderly placement of openings, the use of Roman arches, Tuscan columns, Roman flat pan and barrel tile roofing, wood shutters (that combine swing and awning hinges), precast window surrounds, and rectangular or diamond pattern window grilles.

3.8.2 Form, Massing and Hierarchy

1. The house establishes a hierarchy of forms about a single dominant gable or hip roofed two-story volume. One-story saddlebag shed and gable roofed additions extend from the main two-story volume to define outdoor living spaces. The house shall include a private courtyard.

2. The overall massing shall emphasize the horizontal plane as viewed from the street.

3. Massing may be informal and additive as though large building units were added over time and adjusted to the existing land forms.

4. Building corners shall be 90-degrees. Acute building corners are not permitted. Obtuse building corners may be approved on a case-by-case basis.

5. Towers shall be rectangular in plan. Towers may be located on the building perimeter or in a central location as in the “casa colonica” houses of Chianti.

6. Exterior stairs shall have solid guard-rail walls or wrought iron guardrails.



Building forms are clustered creating courtyards



Rectangular towers project above low pitched roofs



Gable roofs connect at gable walls to avoid roof valleys

3.8.3 Roof Design

1. Simple gable roofs are the primary roof forms. Secondary roofs include hip roofs and shed roofs. Hip roofs may be used on towers and on a few major volumes.
2. Roof slopes are low.
3. Roof valleys are minimized.
4. Roofed passageways, loggias, terraces, and decks shall expose heavy timber framing.
5. Roof ridges shall not exceed 50 feet in length. Vertical steps in ridges shall be a minimum of 12 inches. Ridges over 50 feet in length may be approved on a case-by-case basis.
6. Flat roofs are not permitted.



Saddle-bag shed roofs visually link the building massing to the sloping land form

3.8.4 Elevations

1. Exterior walls shall be stone or stucco clad. Brick may be used in combination with stone clad walls. Brick was often used to form precise openings.

2. Transitions between stone and stucco-clad portions of a house shall occur at locations that appear to be the logical result of additions over time. The use of stone or stucco shall not appear to be applied materials that simply accent walls or otherwise decorate the building.

3. The primary wall opening shape shall be rectangular. Roman half-round arches may be used sparingly to frame doors and windows. The overuse of half-round arches diminishes their visual impact. Flattened arches and basket handle arches should be avoided. They however may be used over garage door openings.

4. Loggias and decks may have arcades with Roman half-round arches. Flattened arches, pointed arches and basket handle arches shall not be used in arcades.

5. Openings shall be deeply recessed. All openings shall be recessed a minimum of 12 inches on front and rear elevations and a minimum of 8 inches on all other elevations. Recessed openings shall be measured from the exterior face of door or window frames to the outside finished face of the exterior wall. Openings located beneath covered outdoor loggias, covered porches, and covered terraces that are a minimum of 8-feet deep need only to be recessed 8-inches.

6. Openings shall be held a significant distance from building corners. The jamb to corner distance shall be at least 24 inches. Smaller distances may be approved and larger distances required on a case-by-case basis.

7. Wood plank or louvered shutters may be used as necessary. There should be logical consistency in the use of



Elevations feature Roman arches, stone with brick framed openings, stacked window alignment and rectangular columns and heavy timber framing



Rectangular openings predominate, decks and patios express massive rectangular columns and heavy timber framing

shutters so that their placement does not appear to be purely decorative.

8. Tall wood plank shutters may be used over French doors. Bi-fold shutter shall not be used.

9. Shutters shall be held a significant distance from building corners and from shutters of adjacent openings. Sufficient dimension must be established to emphasize the dominance of masonry construction. The minimum distance between adjacent shutters shall be one shutter width. The minimum distance from the edge of a shutter to a building corner shall be approved on a case-by-case basis.

10. Juliet balconies may be used on a few locations. The balcony deck shall be cast stone with wrought iron railings.

11. Cantilevered decks and second floors are not permitted.

12. Dressed corner stones or quoins are not permitted. Corner stones may be used however they must be irregular shaped and not laid on regular horizontal mortar beds.

13. Windows shall be placed in an ordered grid-like fashion on the facades. Second-story openings shall stack over the openings below.



Roman pan clay tile roofs and L-shaped ridge tiles distinguish this roof style



Roof fascias and rakes may simulate plaster corbeled brick

3.8.5 Roof Details

1. Roofing materials shall be two-piece Roman pan or barrel clays or, if approved, clay "S" tile.
2. Eave overhangs shall be:
 - 12 to 30 inches deep for eaves with exposed rafter tails.
 - 6 to 16 inches deep for eaves with corbelled or molded cornices.
3. Eaves types include:
 - Eaves with exposed heavy timber rafter tails. Exposed rafter tails shall have decorative Italian style low-profile end cuts.
 - Eaves with simple corbelled cornices. These cornices shall consist of corbelled stone coursing or simple corbelled stucco banding.
4. Rake overhangs shall be 1 to 30 inches deep. Rake overhangs over 12 inches shall have heavy timber outlookers or corbels with decorative profile end cuts.
5. Parapets are not permitted.
6. Shed roofs must engage an exterior wall on its high side.

3.8.6 Entrance Details

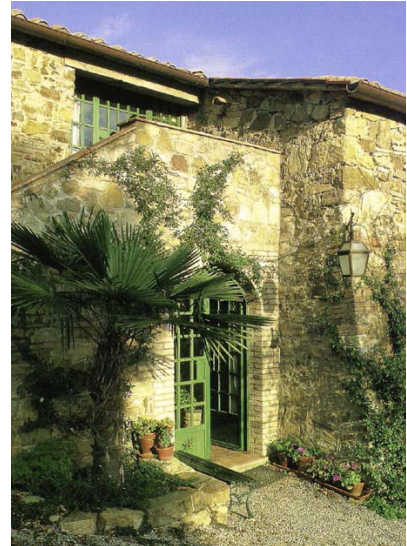
1. Flat or half-round arched openings may crown the primary entrance. Entry surrounds may be framed in simple cast stone surrounds or deeply recessed into stone-walls. Entry surrounds should have a rustic quality and not reflect an imposing refined high Renaissance style.

2. Entry portals may be arched gated openings. These will be approved on a case-by-case basis. Designs that dwarf human scale or appear ostentatious will not be approved.

3. Entry doors shall be wood plank, raised panel or style and rail doors with hand forged decorative hardware.



Oversized entry door and cast stone surrounds may announce the entry



Brick arches and jams often simplify the clean edge of openings

3.8.7 Window and Door Details

1. Windows shall be casements or fixed sash windows with true divided lights.

Casement windows shall be grouped in pairs. Openings with single casement windows shall be limited to a few locations.

2. Window units and window composites shall be vertically proportioned. Window heights shall always be greater than a window's width.

3. Windows shall be deeply recessed into thick exterior walls.

4. Windows may have slightly sloping stucco sills or cast stone sills. Steeply sloping sills may not be used.

5. Window and door openings may be decorated with cast stone trim projecting from the face of the exterior wall. Trim shall be rustic and simple. The use of overly decorative crossheads, ancons, consoles and sills will not be approved.

6. Half-round transom windows shall be limited to a few accent openings.

7. The use of heavy timber over openings shall be limited to garage door openings in stone-walls.

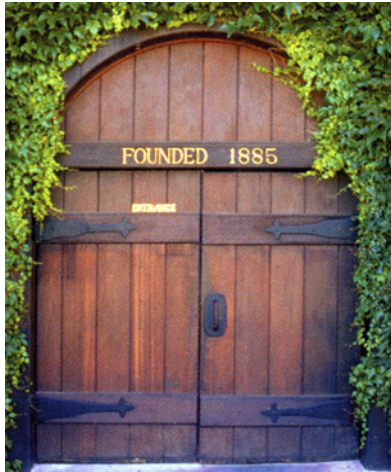


Roman arched openings are reserved for significant rooms. Arched openings should not be stacked over arched openings below

8. Doors may be vertical wood plank, wood doors with raised panels, style and rail doors, and French doors with true divided lights.

9. Door hardware on the front and side elevations shall appear to be hand forged ornamental wrought iron hardware.

10. The rear elevation and elevations facing private courtyards may have large expanses of glass. These shall be windows with true divided lights or French doors with true divided lights.



Wood plank garage door



The decorative cast stone balcony is wide to enclose the louvered shutters when in the open position



This arcade halts the Tuscan columns at the corner arches



These tall cast stone columns create an impressive outdoor living space

3.8.8 Garage Details

1. Garage doors are wood plank, raised panel, or style and rail carriage doors with exposed "Old World" iron hardware. Windows are not permitted in the garage doors.

3.8.9 Loggia and Balcony Details

1. Juliet balconies may serve a single pair of French doors. Balcony decks shall be cast stone with decorative iron railings.

2. Decks shall be roofed. Columns supporting decks and deck roofs shall be massive rectangular stone, brick or stucco columns. Heavy timber beams may support roof framing between stone columns.

3. Deck guardrails shall be stone or solid stucco finished walls with masonry caps. Wood or iron guardrails may be approved on a case-by-case basis.

4. Exterior stairs shall have continuous stucco or stone guardrail walls. These stairs emulate masonry construction with load bearing walls and brick or clay tile paver treads. Stucco guardrails may have cast stone caps.

5. Loggia and Patios:

- Loggia arcades shall have half-round arches, flat stucco soffits or heavy timber beams. Flattened arches or basket handle arches are not permitted.
- Loggia, patio, or terrace columns shall be massive rectangular stucco, brick or stone columns or classical cast-stone Tuscan order columns with circular cross-section. Heavy timber posts are not permitted.
- Arcades must have equal bay and column spacing. Where arcades turn a corner, corner bays shall be equal. Where the dimension is insufficient for an equal bay, a wall shall close the short dimension. This wall shall not engage a circular column.
- Loggias, porches, and covered terraces shall be a minimum of 8-feet deep.

3.8.10 Chimney Details

1. Chimneys shall be narrow in width (2'-6" max.) and either square or rectangular in plan.
2. Chimneys shall be located within the exterior walls and shall not project outside the face of an exterior wall. The exception to this rule are chimneys of outdoor fireplaces located within outdoor living spaces or courtyards.
3. Stone or brick chimneys shall extend from rooms with stone clad exterior walls and stucco clad chimneys shall extend from rooms with stucco exterior walls. Exceptions to this rule shall be approved on a case-by-case basis.
4. Chimney terminations shall have tile roofs. Tile roofs may be gable or hip roofs, A-frame roofs with flat Roman pan tiles, and ziggurat brick roofs. Other terminations may be approved on a case-by-case basis.



Gable or hip roofed chimney caps characterize this style

3.8.11 Ornamental Details

1. Wood louvered or plank window shutters may be used as required. Louvered shutters may have awning hinges on the lower half of the shutter. Shutters shall be operable and completely cover the opening when closed so that the outside face of the shutter is flush with the surface of the exterior wall. This requires a recessed stop detail in the window opening.
2. Gable end vents are not permitted.
3. Wrought iron window grilles shall be recessed into the exterior wall opening or project 8 inches maximum from the exterior wall surface. Window grilles that project shall be secured to the wall on all opening edges. These grilles may recess behind projecting cast-stone crossheads and sills.

Window grilles shall have tight square grids oriented horizontally at 45 or 90 degrees. Window grilles over circular, elliptical or half-round transoms shall have tight radial patterns. Alternative



Wrought iron window grilles may show diamond or rectangular patterns

grille patterns may be approved on a case-by-case basis.



Landscape



The Landscape of Santaluz is inspired by early California Plein Air paintings (Arcadian Hills, by William Wendt)

4.1 Natural in Character

The landscape of Santaluz is natural in character and open in appearance with groves of trees and shrub masses carefully and naturally composed on the land. Large areas of grassland change color with the seasons—more green in winter and more golden in the dry season. Homes are carefully sited within this landscape to complete the picturesque scene.

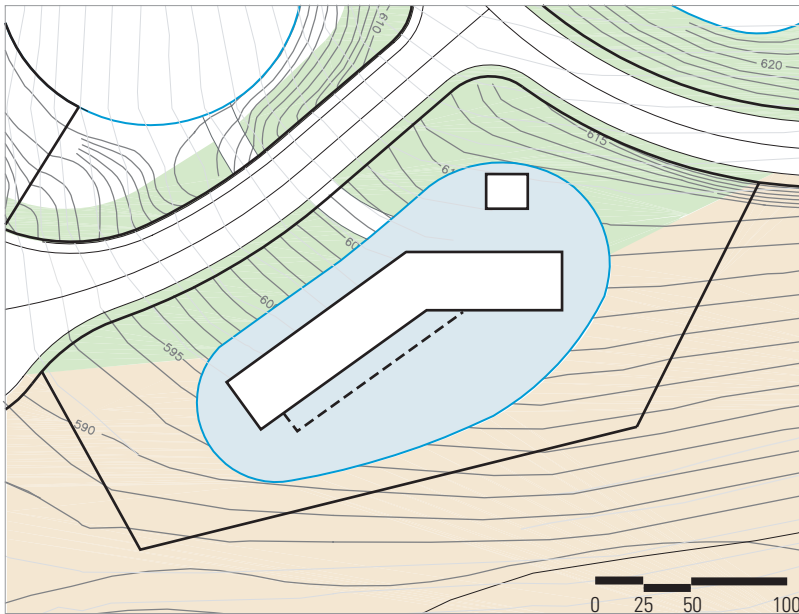
Homesites occur within and are surrounded by a landscape designed to preserve views, provide shelter and natural separation. The approved Plant List includes native, naturalized and accent species. The Interior Yard landscape of the homesite, though compatible with the natural surrounding landscape, may be more ornamental in character offering much greater latitude to the homeowner for individual expression. The

intent is to create a seamless and harmonious California landscape.

This chapter of the Santaluz Design Book describes the treatment of the residential landscape. The residential landscape is comprised of three landscape zones: Interior Yard (Section 4.2), Perimeter Yard (Section 4.3), and Streetscape (Section 4.4). In addition, there may be landscape zone requirements for Brush Management Lots (Chapter 7) and La Jolla Valley Rim Lots (Chapter 8).

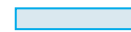






Each of the three landscape zones have different requirements. Although the landscape for each homesite must be compatible with the surrounding landscape character, the highest amount of design freedom occurs within the Interior Yard, where the homeowner can more freely choose and compose the landscape.

Although each of the landscape zones has different design criteria, it is essential that the overall character of the landscape of each lot have a unity that can only be achieved with careful attention to the transition between zones. In many cases, homeowners will have to supplement the planting of the Perimeter Yard or Streetscape to achieve smooth landscape transitions, and the Interior Yard, while having the most flexibility in design must be compatible with the adjacent Perimeter Yard landscape. Accordingly, all landscape design submittals must show all of the existing and proposed landscape on and adjacent to the lot and not just the Interior Yard. Evaluation of the design by the Design Review Committee will be based on the complete landscape design.



Ungraded Custom Homesite Landscape Exhibit

Legend

	Interior Yard
	Perimeter Yard
	Streetscape
	Golf Course Landscape Area
	Building
	Covered Outdoor Space
	Property Line

4.2 Interior Yard

This section takes the place of Custom Design Book Section "4.2 Interior Yard". The Interior Yard includes the residential building area and may include additional graded usable area and the Interior Yard Expansion area.

The character of the Interior Yard landscape is simple, natural, understated and emphasizes native and drought tolerant plant species. Though more ornamental in character, this landscape must be compatible with the natural character of the adjacent areas and comprised mainly of drought tolerant species. The Interior Yard landscape arrangement should serve as extensions of interior living spaces, and may assume a more regular landscape geometry. It includes turf areas, courtyards, pools, spas, decks, structures and vehicular entry courts. Colorful accent shrubs and groundcovers in these gardens give way to more drought tolerant background shrub and groundcover species compatible in character with the species occurring in the Perimeter Yard.

4.2.1 General Requirements

The homeowner will install, maintain and irrigate the Interior Yard landscape.

The Interior Yard landscape may include Brush Management and La Jolla Valley Rim Lot requirements. See Chapter 7, Brush Management and Chapter 8, La Jolla Valley Rim Lots for location and requirements for this area.

A minimum of 85% of plant species utilized in the Interior Yard must be from the Interior Yard Plant List in section "4.5 Plant List". No plant material listed on the Prohibited Plant List found in section "4.6 Prohibited Plant List" is permitted.

4.2.2 Trees

Trees are to reflect the character, form, and height of the adjacent Perimeter Yard and Streetscape. They are to be predominantly Background Trees as listed on the Plant List, of canopy shape, and maximum 35 to 40 foot mature height.

Accent trees as listed on the Plant List should be limited in use to entry courts, patios, turf areas and spaces that serve as extensions of interior living spaces.



The Interior Yard allows the homeowner flexibility, incorporating a wide range of plant materials including turf, courts, hedges and accent shrubs to form outdoor living spaces



The rustic character of this interior yard compliments the style of the homesite

4.2.3 Shrubs, Vines and Groundcovers

Colorful accent shrubs and background planting may take on a varied and informal quality to complement the nearby natural landscape. Shrubs may also assume more geometric forms, helping to define extensions of interior home living spaces. As hedges, they may frame turf or paved courts emanating from building entries, doorways or verandas.

Flowering vines on trellis and pergolas may further enhance courtyards and gardens extending from the house.

4.2.4 Grasses and Wildflowers

Ornamental grasses and wildflowers are encouraged in these gardens with more drought tolerant varieties making a comfortable transition to the natural landscape of the Perimeter Yard and Streetscape.

4.2.5 Turf Grass

Mowed turf grass is permitted and may occur in areas extending from the home or patio. On homesites larger than one half acre, a maximum of twenty-five percent (25%) of the Interior Yard area may be planted with turf grass.

Turf grass may not be permitted in certain building setback areas, see Homesite Exhibit for locations.

4.2.6 Irrigation

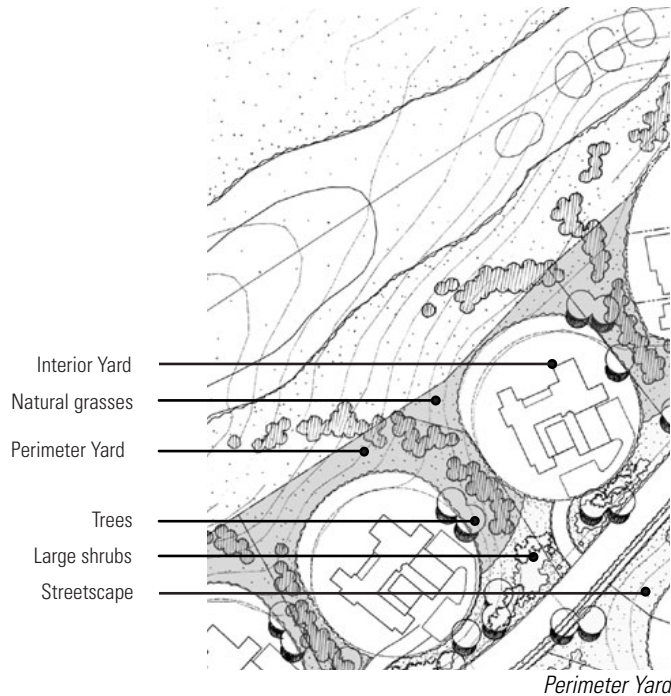
A variety of irrigation methods may be used, although water-conserving systems such as drip and micro-spray techniques are encouraged.



Flowering gardens, patios, and arbors can add to the richness and diversity of the Interior Yard landscape



A variety of outdoor uses are gracefully accommodated within this area



Example of landscape transition between interior yard and perimeter yard

4.3 Perimeter Yard

This section takes the place of Custom Design Book Section "4.3 Perimeter Yard".

The Perimeter Yard surrounds the Interior Yard. It is a natural appearing area with grasses, large screening shrubs and occasional clusters of canopy trees.

Walls or fences are not permitted in this area with the exception of Interior Yard Expansion and the low retaining walls of natural appearance.

Some landscape and irrigation in the Perimeter Yard are already installed by the Master Developer or Santaluz Club. This landscape and irrigation will be disturbed during the site grading and preparation. The homeowner is required to restore the landscape and irrigation per the requirements of Santaluz Maintenance Association and Santaluz Club. Any change or modification to the original landscape must be submitted and approved in advance by the Design Review Committee and City of San Diego. This landscape may be supplemented by the homeowner if approved by the Design Review Committee. Plant material utilized must be from the Perimeter Yard Plant List. No plant material from the prohibited Plant List is permitted.

When adjacent to the Santaluz Club, Perimeter Yard may include an area where the landscape is to be irrigated and maintained by the Santaluz Club.

The Perimeter Yard may include a Brush Management Zone and La Jolla Valley Rim Lot requirements. See Chapters 7 and 8 respectively.

4.3.1 Trees

The predominant Species shall be *Quercus spp.* arranged in small clusters or individually. Perimeter Yard landscape may also incorporate other tree species such as Olive, Pepper and Eucalyptus in designated areas.

4.3.2 Shrubs

Large shrubs or tree forms of shrubs shall be located in bold, informal masses between pads and extend down rear slopes. They are to be closely spaced and in large groups to resemble native shrubs arrangements. Accent Shrubs may be added in small informal groupings.



Large screening shrubs and natural grasses of the Perimeter Yard are arranged to reflect native species groupings

4.3.3 Grasses and Wildflowers

The ground plane may be planted with the approved grass and wildflowers seed mixture. It is to be mowed or weed-whipped only where necessary for brush management purposes. This planting may be supplemented by the homeowner with the approval of the Design Review Committee using grasses and wildflowers from the Perimeter Yard Plant List.

Weed eradication is of primary importance in all grass areas. Before planting, all Perimeter Yard grass areas are to be irrigated to germinate any weed seeds present, and treated per manufacturer's recommendations with a pre-emergent herbicide to eradicate all weed seed germination.

Turf grass is not permitted.

4.3.4 Irrigation

Irrigation is to be installed/restored and maintained by the homeowner. Drip, bubbler, or micro-spray irrigation may be used for trees and shrubs.



View looking from hillside perimeter yard toward the gardens of the interior yard

Natural grass areas may be irrigated. Water application rates must be managed and appropriate for plant material and seasonal requirements.

All backflow prevention devices are to be screened from public view.



Streetscape Type Location

4.4 Streetscape

This section takes the place of Custom Design Book Section "2.8 Streetscape". The Streetscape landscape parallels the residential streets. Many of the plant species utilized are indigenous to the site, others are similar in form, color, character and water requirements. The Streetscape includes trees, large shrubs and grasses arranged informally to form the seamless landscape framework for Santaluz. Accent shrub masses, composed of small flowering shrubs and succulents, may be added along street edges to complete a mosaic of natural California landscape.

The Streetscape is part of the Perimeter Yard and is located in areas that are visually prominent when viewed from the street. The width of this area varies based on the orientation of the slope to the street. When the adjacent slope falls away from the street, the streetscape is relatively narrow in width. When the adjacent slopes rise up from the street, the streetscape may extend to the Interior Yard.

This Streetscape landscape is further divided into two categories: the Natural Grass Streetscape and, on some homesites, the Ornamental Grass Streetscape.

In some cases landscape and irrigation in this area are already installed by the Master Developer. This landscape and irrigation will be disturbed during the site grading and preparation. The homeowner is required to restore the landscape and irrigation per the requirements of Santaluz Maintenance Association. Any change or modification to the original landscape must be submitted and approved in advance by

both the Design Review Committee and City of San Diego. After installation, trees, irrigation and the landscape are to be maintained by the homeowner except in the Ornamental Grass Streetscape area which is maintained by the Santaluz Maintenance Association. This landscape may be supplemented by the homeowner if approved by the Design Review Committee.

A Plant List has been established for the Streetscape. Though the Plant List is extensive enough to address variable site conditions, it is the intent that landscape variability be kept simple and understated, consistent with existing site landscape character. Therefore, only a few species should be selected.

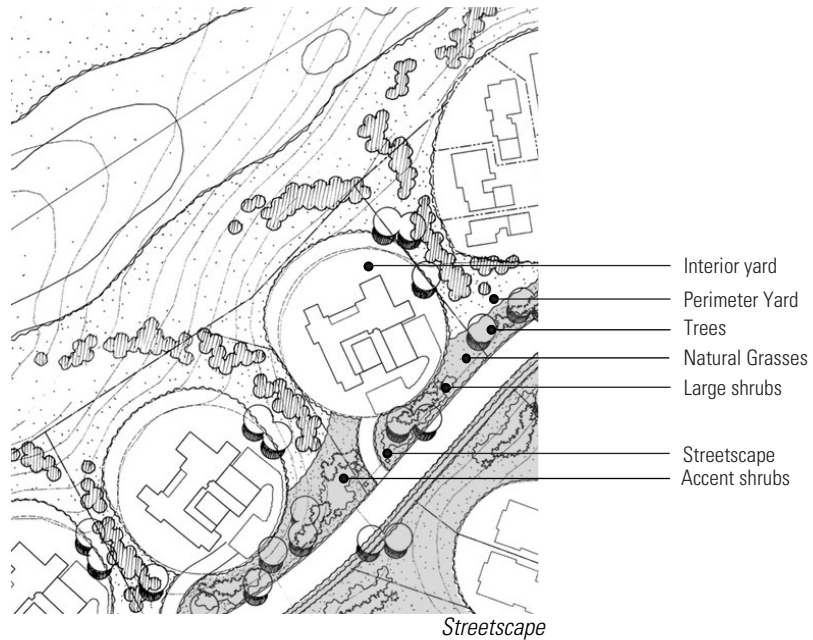
4.4.1 Trees

Trees are to be located in clusters along the street edge in simple, informal groups.

Tree clusters will occur at turns in roads, driveway entries and other visually important areas. Along the entry drives *Platanus racemosa* is used and, *Phoenix canariensis* is used at some prominent intersections as a focal point.

The Streetscape will consist primarily of *Quercus* species. Other trees species such as Olive, Eucalyptus and Pepper may be used in designated areas. Along the entry drives *Platanus Racemosa* is used and, *Phoenix Canariensis* is used at some prominent intersections as a focal point.

No tree shall be planted within 25 feet of intersections and within 10 feet of street lights, fire hydrants or driveways.



4.4.2 Shrubs

Large shrubs should be utilized to screen downslope views of pads from the street. They shall be planted informally, closely-spaced and in large groups to resemble native shrub arrangements. Large areas between shrub groupings shall remain open grassland.

Shade-tolerant shrubs may be utilized as understory planting beneath tree clusters.

Accent shrubs may be located in bold, informal masses along road edges at turns in road, road intersections, driveway entries, large slopes and other highly visible areas. Accent shrub masses may be layered with a maximum combination of two accent species.

4.4.3 Grasses and Wildflowers

The Ground plane may be planted with the approved grass and wildflower seed mixture. These grasses may be periodically weed-whipped for brush management purposes only. This planting may be supplemented by the homeowner with approval from the Design Review Committee using grasses and wildflowers from the Perimeter Yard Plant List.

Weed eradication is of primary importance in all grass areas. Before planting, all natural grass areas are to be irrigated to germinate any weed seeds present, and treated per manufacturer's recommendations with a pre-emergent herbicide to eradicate all weed seed germination.

Turf grass is not permitted within the Streetscape.



Informal masses of trees, shrubs and natural grasses comprise the Streetscape

4.4.4 Irrigation

Irrigation is to be installed/restored and maintained by the homeowner except in the Ornamental Grass Streetscape area where it is maintained by the Santaluz Maintenance Association. Drip, bubbler, or micro-spray irrigation is to be used for trees and shrubs. Natural grass areas will be irrigated. Water application rates must be managed and appropriate for plant material and seasonal requirements.

All backflow prevention devices, irrigation controllers and other utility boxes are to be screened from public view.

4.5 Plant List

The following is the current Plant List for the Custom Homesites at Santaluz. Plant palette may be modified from time to time by DRC. Plants listed in Section 4.6 Prohibited Plant List shall not be used in any landscape zones. Use of this plant material is described in sections 4.1 through 4.4.

Plants are listed in four categories: (1) trees; (2) shrubs, vines and groundcovers; (3) grasses and wildflowers; and (4) turfgrass. Their use is then identified as either background planting or as accent planting. The locations where these plants may be used are also identified as Interior Yard, Perimeter Yard, Streetscape, Brush Management and La Jolla Valley Rim lots.

		Use		Location				
		Background	Accent	Interior Yard	Perimeter Yard	Streetscape	Brush Management	La Jolla Valley
Trees								
Botanical name	Common name							
<i>Acacia</i> spp.	Acacia		■	■				
<i>Aesculus californica</i>	California Buckeye		■	■				
<i>Agonis flexuosa</i>	Peppermint Willow		■	■	■	■		
<i>Albizia julibrissin</i>	Silk Tree		■	■				
<i>Alnus cordata</i>	White Alder		■	■				
<i>Alnus rhombifolia</i>	California Alder		■	■				
<i>Angophora costa</i>	Australian Willow		■	■				
<i>Avocado</i> spp.	Avocado	■		■				
<i>Brachychiton populneus</i>	Bottle Tree		■	■				
<i>Calodendrum capense</i>	Cape Chestnut		■	■				
<i>Ceratonia siliqua</i>	Carob Tree	■		■				
<i>Cercis occidentalis</i>	Western Redbud		■	■				
<i>Citrus</i> "thornless" spp.	Citrus		■	■				
<i>Eucalyptus ficifolia</i>	Red-flowering Gum	■		■	■	■		
<i>Eucalyptus lehmanii</i>	Bushy Yate	■		■	■	■		
<i>Eucalyptus microtheca</i>	Coolibah	■		■	■	■		
<i>Eucalyptus nicholii</i>	Nichol's Willow		■	■	■	■		
<i>Eucalyptus spathulata</i>	Narrow-leafed Gimlet	■		■				
<i>Eucalyptus torquata</i>	Coral Gum		■	■				
<i>Ficus rubiginosa</i>	Rusty-leaf Fig		■	■				
<i>Geijera parvifolia</i>	Australian Willow	■		■	■	■		
<i>Hymenosporum flavum</i>	Sweetshade		■	■				
<i>Jacaranda mimosifolia</i>	Jacaranda		■	■				
<i>Juglans californica</i>	So. California Black Walnut	■		■				
<i>Koelreuteria bipinnata</i>	Chinese Flame Tree		■	■				
<i>Lagerstroemia indica</i>	Crape Myrtle		■	■				
<i>Maytenus boaria</i>	Mayten Tree		■	■				
<i>Metrosideros excelsus</i>	New Zealand Christmas Tree		■	■				
<i>Olea europea</i>	Olive	■		■	■	■		
<i>Pinus pinea</i>	Italian Stone Pine	■		■				
<i>Pistachia chinensis</i>	Chinese Pistach		■	■				

		Use		Location					
		Background	Accent	Interior Yard	Perimeter Yard	Streetscape	Brush Management	La Jolla Valley	
Trees (continued)									
Botanical name		Common name							
Platanus racemosa			■	■	■	■			
Pyrus calleryana			■	■					
Quercus agrifolia		■		■	■	■			
Quercus dumosa		■		■	■				
Quercus engelmanni		■		■	■	■			
Quercus ilex		■		■	■	■			
Quercus kelloggii		■		■					
Quercus suber		■		■					
Quercus virginiana		■		■	■	■			
Rhus lancea			■	■					
Salix spp.			■	■					
Schinus molle			■	■	■	■			
Tabebuia avellanedae			■	■					
Tipuana tipu		■		■					
Ulmus parvifolia		■		■					
Zelkova serrata		■		■					

		Use		Location				
		Background	Accent	Interior Yard	Perimeter Yard	Streetscape	Brush Management	La Jolla Valley
Shrubs, Vines and Groundcovers								
Botanical name	Common name							
<i>Agapanthus spp.</i>	Lily-of-the-Nile		■	■				
<i>Agave spp.</i>	Agave		■	■	■	■		
<i>Aloe spp.</i>	Aloe		■	■	■	■		
<i>Anisodonte</i>	Cape Mallow	■		■				
<i>Antigonon leptopus</i>	Rosa de Montana		■	■				
<i>Arbutus unedo</i>	Strawberry Tree	■		■	■	■		
<i>Arctostaphylos spp.</i>	Manzanita	■		■				
<i>Artemesia 'Canyon Grey'</i>	California Sage	■		■				
<i>Artemesia pycnocephala</i>	Sandhill Sage	■		■				
<i>Artriplex spp.</i>	Saltbush	■		■				
<i>Aucuba japonica</i>	Japanese Aucuba	■		■				
<i>Baccharis spp.</i>	Coyotebrush	■		■	■	■		
<i>Bambusa spp.</i>	Bamboo	■		■				
<i>Bougainvillea spp.</i>	Bougainvillea		■	■	■	■		
<i>Buxus spp.</i>	Boxwood	■		■				
<i>Caliandra californica</i>	Fairy Duster	■		■	■	■		
<i>Callistemon spp.</i>	Bottlebrush		■	■	■	■		
<i>Carissa macrocarpa</i>	Natal Plum	■		■				
<i>Cassia spp.</i>	Senna	■		■				
<i>Ceanothus spp.</i>	California Lilac		■	■	■	■		
<i>Cissus antarctica</i>	Kangaroo Treebine	■		■				
<i>Cistus spp.</i>	Rockrose		■	■	■	■		
<i>Clematis armandii</i>	Clematis		■	■				
<i>Clytostoma callistegioides</i>	Violet Trumpet Vine		■	■				
<i>Comarostaphylis diversifolia</i>	Summer Holly	■		■			■	■
<i>Coprosma spp.</i>	Mirror Plant	■		■				
<i>Cotoneaster spp.</i>	Cotoneaster	■		■	■	■		
<i>Cycas revoluta</i>	Sago Palm		■	■				
<i>Dasyllirion spp.</i>	Sotol	■		■				
<i>Dendromecon spp.</i>	Bush Poppy		■	■				
<i>Distictis buccinatoria</i>	Blood-red Trumpet Vine		■	■				

		Use		Location				
		Background	Accent	Interior Yard	Perimeter Yard	Streetscape	Brush Management	La Jolla Valley
Shrubs, Vines and Groundcovers (continued)								
Botanical name	Common name							
<i>Echium fastuosum</i>	Pride-of-Medeira		■	■	■	■		
<i>Elaeagnus pungens</i>	Silverberry	■		■				
<i>Encelia spp.</i>	Encelia	■		■				
<i>Eriogonum spp.</i>	Buckwheat	■		■				
<i>Escallonia spp.</i>	Escallonia	■		■				
<i>Fatsyhedera lizei</i>	No Common Name	■		■				
<i>Fatsia japonica</i>	Japanese Aralia	■		■				
<i>Feijoa sellowiana</i>	Pineapple Guava		■	■	■	■		
<i>Ferocactus viridescens</i>	Coast Barrel Cactus	■		■	■	■	■	■
<i>Ficus pumila</i>	Creeping Fig	■		■				
<i>Fremontodendron spp.</i>	Flannel Bush	■		■				
<i>Galvezia speciosa</i>	Island Bush Snapdragon		■	■				
<i>Garrya elliptica</i>	Silktassel	■		■	■	■		
<i>Gazania spp.</i>	Gazania		■	■				
<i>Gelsemium sempervirens</i>	Carolina Jessamine		■	■				
<i>Grevillea spp.</i>	Grevillea	■		■	■	■		
<i>Hakea suavoalens</i>	Sweet Hakea	■		■	■	■		
<i>Hedera spp.</i>	English Ivy	■		■				
<i>Hesperaloe parviflora</i>	Hesperaloe	■		■				
<i>Heuchera spp.</i>	Coral Bells		■	■				
<i>Hemerocallis spp.</i>	Daylily		■	■				
<i>Heteromomeles arbutifolia</i>	Toyon	■		■	■	■	■	■
<i>Hibiscus spp.</i>	Chinese Hibiscus		■	■				
<i>Iris douglasiana</i>	Douglas Iris		■	■				
<i>Isomeris arborea</i>	Bladderpod	■		■				
<i>Iva haysiana</i>	Hayes iva	■		■				
<i>Juncus patens</i>	California Gray Rush	■		■				
<i>Juncus polyanthemos</i>	Australian Silver Rush	■		■				
<i>Lantana spp.</i>	Lantana		■	■	■	■		
<i>Lavandula spp.</i>	Lavander		■	■	■	■		
<i>Lavatera spp.</i>	Tree Mallow		■	■	■	■		

		Use		Location				
		Background	Accent	Interior Yard	Perimeter Yard	Streetscape	Brush Management	La Jolla Valley
Shrubs, Vines and Groundcovers (continued)								
Botanical name	Common name							
<i>Leptospermum</i> spp.	Tea Tree	■		■	■	■		
<i>Ligustrum japonica</i> 'Texanum'	Japanese privet	■		■				
<i>Limonium perezii</i>	Sea Lavender		■	■				
<i>Liriope</i> spp.	Lily Turf		■	■				
<i>Lonicera japonica</i>	Japanese Honeysuckle	■		■				
<i>Lotus scoparius</i>	Deerweed	■		■				
<i>Lyonothamnus floribundus</i>	Catalina Ironwood	■		■	■	■		
<i>Mahonia</i> spp.	Mahonia	■		■	■	■		
<i>Malosma laurina</i>	Laurel Sumac	■		■	■	■		
<i>Melaleuca</i> spp.	Melaleuca	■		■	■	■		
<i>Mimulus puniceus</i>	Red Bush Monkey Flower	■		■	■	■	■	■
<i>Miscanthus</i> spp.	Eulalia		■	■	■	■		
<i>Myoporum laetum</i>	Myoporum	■		■	■	■		
<i>Narcissus</i> spp.	Daffodil		■	■				
<i>Nandina domestica</i>	Heavenly Bamboo		■	■				
<i>Nemophila menziessi</i>	Baby blue eyes	■		■				
<i>Nepeta faassenii</i>	Catmint	■		■				
<i>Nolina</i> spp.	Beargrass	■		■				
<i>Oenothera</i> spp.	Evening Primrose		■	■				
<i>Opuntia littoralis</i>	Beavertail		■	■			■	■
<i>Origanum</i> spp.	Oregano	■		■				
<i>Osmanthus fragrans</i>	Sweet Olive	■		■				
<i>Pelargonium peltatum</i>	Ivy Geranium		■	■				
<i>Philodendron</i> spp.	Philodendron	■		■				
<i>Phoenix roebelenii</i>	Pigmy Date Palm		■	■				
<i>Pittosporum undulatum</i>	Victorian Box	■		■				
<i>Plumbago auriculata</i>	Cape Plumbago		■	■				
<i>Podocarpus</i> spp.	Fern Pine	■		■				
<i>Prunus caroliniana</i>	Carolina Cherry	■		■				
<i>Prunus ilicifolia</i>	Hollyleaf Cherry	■		■	■	■		
<i>Prunus lyonii</i>	Catalina Cherry	■		■				

		Use		Location				
		Background	Accent	Interior Yard	Perimeter Yard	Streetscape	Brush Management	La Jolla Valley
Shrubs, Vines and Groundcovers (continued)								
Botanical name	Common name							
<i>Punica granatum</i>	Pomagranate		■	■				
<i>Quercus dumosa</i>	Scrub Oak	■		■	■	■		
<i>Raphiolepis umbellata</i>	Yeddo Hawthorne	■		■				
<i>Rhamnus californica</i>	Coffeeberry	■		■	■	■		
<i>Rhamnus crocea</i> 'ilicifolia'	Redberry	■		■	■			
<i>Rhaphiolepis indica</i>	India Hawthorne	■		■				
<i>Rhus integrifolia</i>	Lemonadeberry	■		■	■	■	■	■
<i>Rhus ovata</i>	Sugarbush	■		■				
<i>Ribes</i> spp.	Gooseberry or Currant	■		■	■	■		
<i>Romneya coulteri</i>	Matilija Poppy		■	■				
<i>Rosa</i> spp.	Rose		■	■				
<i>Rosmarinus</i> spp.	Rosemary	■		■	■	■		
<i>Salvia</i> spp.	Sage		■	■	■	■		
<i>Santolina</i> spp.	Santolina	■		■	■	■		
<i>Sarcococca ruscifolia</i>	Fragrant Sarcococca	■		■				
<i>Sisyrinchium bellum</i>	Blue-eyed Grass	■		■				
<i>Solanum jasminoides</i>	Potato Vine		■	■				
<i>Strelitzia</i> spp.	Bird-of-Paradise		■	■				
<i>Thevetia</i> spp.	Yellow Oleander		■	■				
<i>Trachelospermum jasminoides</i>	Star Jasmine	■		■				
<i>Trichostema lanatum</i>	Wooly Blue Curls		■	■				
<i>Tupidanthus calyptratus</i>	No Common Name	■		■				
<i>Verbena</i> spp.	Verbena		■	■				
<i>Viburnum tinus</i>	Laurustinus	■		■				
<i>Vinca</i> spp.	Periwinkle	■		■				
<i>Vitis</i> spp.	Grape	■		■				
<i>Wisteria</i> spp.	Wisteria		■	■				
<i>Xylosma congestum</i>	Xylosma	■		■				
<i>Yucca</i> spp.	Yucca		■	■	■	■		
<i>Zauschneria</i> spp.	California Fushia		■	■	■	■		

		Use		Location					
		Background	Accent	Interior Yard	Perimeter Yard	Streetscape	Brush Management	La Jolla Valley	
Grasses and Wildflowers									
Botanical name		Common name							
Agrostis diegoensis	No Common Name			■	■	■	■	■	
Agrostis pallens	No Common Name			■					
Avena barbata	Slender Wild Oat			■	■	■	■	■	
Bouteloua gracilis	Blue Grama			■	■	■	■	■	
Bromus carinatus	California Brome			■	■	■	■	■	
Bromus diandrus	Ripgut Grass			■	■	■	■	■	
Bromus hordaceus	Brome			■	■	■			
Buchloe dactyloides	Buffalo Grass			■	■	■			
Carrex tumilicola	Sedge			■	■	■			
Elymus glaucas	Blue Wild Rye			■	■	■	■	■	
Eschscholzia californica	California Poppy			■	■	■	■	■	
Festuca californica	California Fescue			■	■	■	■	■	
Festuca idahoensis	Idahoe Fescue			■	■	■			
Festuca longifolia	Tall Fescue			■	■	■			
Festuca ovina	Sheep Fescue			■	■	■			
Festuca rubra 'Molate'	Molate Fescue			■	■	■	■	■	
Hordeum californicum	California Barley			■	■	■	■	■	
Juncus acutus 'sphaerocarpus'	Spiney Rush			■	■	■	■	■	
Lasthenia chrysostoma	Common Goldfields			■	■	■	■	■	
Lupinus bicolor	Pigmy-leaved Lupine			■	■	■	■	■	
Lupinus nanus	Sky Lupine			■	■	■			
Melica californica	Melic			■	■	■	■	■	
Melica imperfecta	Melic			■	■	■			
Mulenbergia rigens	Deer grass			■	■	■	■	■	
Nassella pulchra	Purple Needlegrass			■	■	■			
Pennisetum messiacum	No Common Name			■	■	■			
Pennisetum setaceum 'Rubrum'	No Common Name			■	■	■			
Sesleria autumnalis	Autumn Moor Grass			■	■	■			
Stipa cernua	Foothill Needlegrass			■	■	■	■	■	
Vulpia microstachys	Small Fescue			■	■	■			

		Use		Location				
		Background	Accent	Interior Yard	Perimeter Yard	Streetscape	Brush Management	La Jolla Valley
Turf grass								
Botanical name	Common name							
<i>Agrostis spp.</i>	Bent Grass			■				
<i>Cynodon dactylon</i>	Bermuda Grass			■				
<i>Festuca eliator</i>	Tall Fescue			■				
<i>Lolium perenne</i>	Ryegrass			■				
<i>Poa spp.</i>	Bluegrass			■				
<i>Stenotaphrum secundatum</i>				■				
<i>Zoysia japonica</i> 'Meyer'	Meyer Zoysia			■				

4.6 Prohibited Plant List

None of the plants listed on Prohibited Plant List may be used in Santaluz even if they are low and invisible in a fully enclosed courtyard.

Trees, Shrubs, and Ground Covers	
Botanical name	Common name
<i>Ailanthus altissima</i>	Tree-of-Heaven
<i>Archontophoenix cunninghamiana</i>	King Palm
<i>Arundo donax</i>	Giant Reed
<i>Atriplex semibaccata</i>	Australian Saltbush
<i>Brahea spp.</i>	Guadalupe Palm
<i>Brassica spp.</i>	Schefflera
<i>Broussonetia papyrifera</i>	Paper Mulberry
<i>Butia capitata</i>	Pindo Palm
<i>Cedrus deodora</i>	Deodar Cedar
<i>Chamaerops humilis</i>	Mediterranean Fan Palm
<i>Cortaderia selloana</i>	Pampas Grass
<i>Cynara cardunculus</i>	Cardoon
<i>Cynara scolymus</i>	Thistle
<i>Foeniculum vulgare</i>	Common Fennel
<i>Livistona spp.</i>	Fountain Palm
<i>Melilotus spp.</i>	Sweetclover
<i>Nicotiana glauca</i>	Tree Tobacco
<i>Pennisetum setaceum</i> (except 'Rubrum')	Fountain Grass
<i>Phoenix canariensis</i>	Canary Island Palm
<i>Phoenix dactylifera</i>	Date Palm
<i>Phoenix reclinata</i>	Senegal Date Palm
<i>Picris echioides</i>	No Common Name
<i>Pinus specie</i> (except <i>Pinus pinea</i>)	Pines (except Italian Stone Pine)
<i>Rhapis excelsa</i>	Lady Palm
<i>Rhynchelytrum repens</i>	No Common Name
<i>Ricinus communis</i>	Castor Bean
<i>Salsola salina</i>	Russian Thistle
<i>Spartium junceum</i>	Spanish Broom
<i>Syagrus romanzoffianum</i>	Queen Palm
<i>Tamarix spp.</i>	Tamarisk
<i>Trachycarpus fortunei</i>	Windmill Palm
<i>Washingtonia spp.</i>	Fan Palm
<i>Xanthium strumarium</i>	Common Cocklebur





Hardscape



Decomposed granite paving of the Interior Yard in Provence style home

5.1 Introduction

The character of the hardscape at Santaluz is derived from two sources: the land and the architectural expression. Elements derived from the land emphasize natural materials, forms and textures. Where the hardscape does not relate to buildings, these elements should be the dominant expression. Where the hardscape relates to buildings, the architectural expression is an extension of the building. These two expressions of hardscape are intended to exist harmoniously within the landscape of Santaluz as the buildings relate to the land.

The hardscape elements are defined as all constructed elements in the landscape, excluding buildings. This section describes the guidelines for monuments, markers, mailboxes, trellises & pergolas, walls, fences and paving.

Elements that are attached to the building would be considered as part of the architecture in Chapter 3 Architecture. Elements that are separated from the building can be found in this section of the guideline.

5.2 Rocks and Boulders

Natural rock forms are abundant at Santaluz. Rock outcroppings punctuate hilltops creating natural landmarks. Scattered rocks and boulders occur throughout the site. Colors vary from deep reds and browns to lighter tans and grays.

Use of rock is encouraged. This may take the form of composed rock outcroppings in the landscape, rugged dry walls with boulder bases, rustic stacked stone walls, rock curbs and planters, boulder lined drives, stone monuments and markers, and stone pavement.



Natural rock cropping on the site



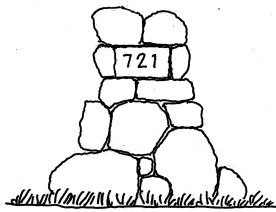
Rock wall



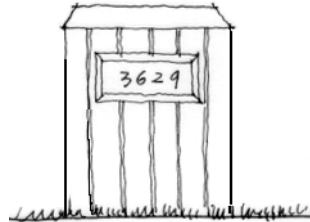
Rustic stone wall



Marker character finds its inspiration from these natural features



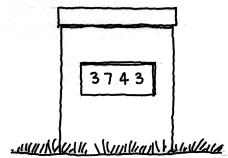
Stone address marker with metal etched numbers



Wood address marker with metal etched numbers



Stone address marker with metal etched numbers



Plaster address marker with metal etched numbers

5.3 Address Markers

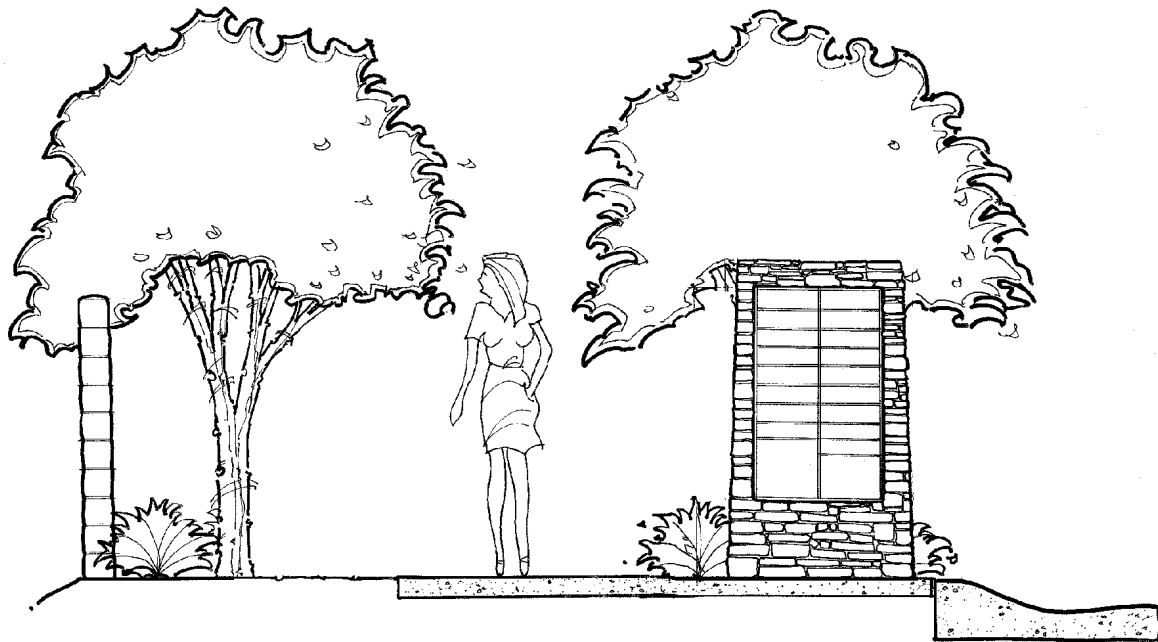
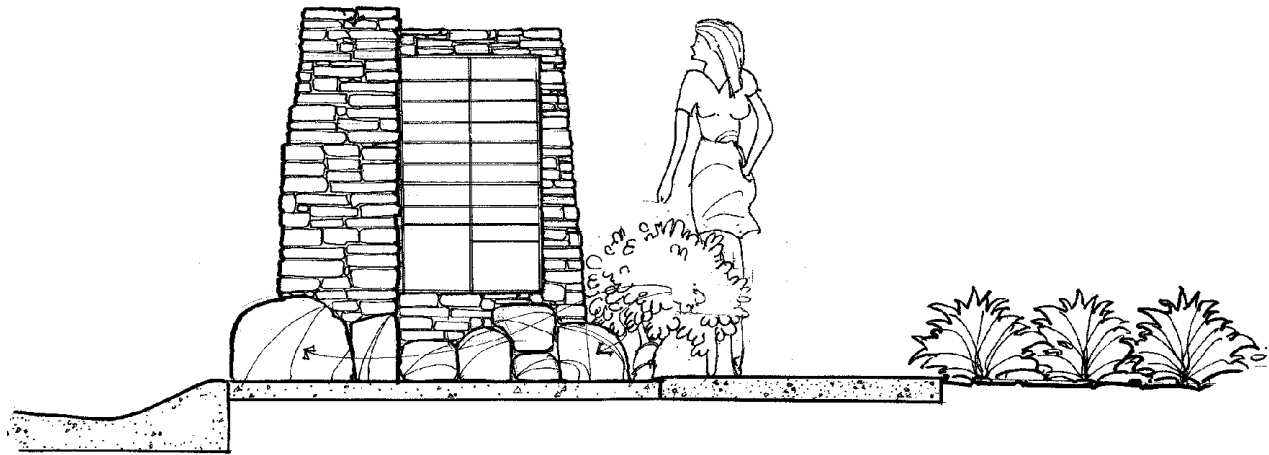
At areas where private residential drive-ways meet village drives, residents shall mark their entries with address markers. These markers should reflect the adjacent natural landscape and/or the residential architecture. These should be relatively low in height, of rustic character and built of native site stone or architectural materials. Functionally, they shall serve to display addresses and names if desired.

- Acceptable materials include native site or similar stone, plaster, concrete and wood
- Vertical markers over 3 feet in height are not permitted
- No internal lighting may be used on the Address Markers
- External lighting may be used, if approved, on a case-by-case basis. Fixture must be shielded from view by use of plant material

Address markers shall be approved by the Design Review Committee.

5.4 Mailboxes

Individual mailboxes will not be available at each homesite. Mailbox facilities will be installed by Master Developer. The Post Office has determined groupings and locations. Variations from the cluster boxes provided are not permitted.



Typical mailbox kiosk

5.5 Overhead Landscape Structures

The appearance of pergolas, arbors, trellises and other exterior landscape structures, can be rustic in character or architecturally consistent with the appearance of the house. The color must match the house trim or the wall color, and must be compatible with the house.



This rustic pergola creates a unique outdoor space



Trelliswork covered with vines extends the outdoor living area



A wood trellis helps form a quiet outdoor resting place



Masonry columns support a well articulated wood trellis

5.6 Walls and Fences

Because of its low density and rural nature, the open character of Santaluz should not be disturbed by visually intrusive fences or walls. The misuse of walls and fences could interrupt the continuity of the village and surrounding landscape. Therefore the use of walls and fences should be minimized. The design concept is to make walls and fences blend with both the architecture and the landscape while still providing privacy and security consistent with the needs of individual homeowners.

Walls and fences that occur on residential homesites shall be of natural materials such as stone or be an extension of the colors and materials of the adjacent residential architecture. They may occur within the Interior Yard as an extension of house living spaces, to frame courtyards or to direct views. Transparent fencing styles should be used wherever necessary to maintain views.

The following criteria apply to Residential Walls and Fences:

General

- Walls and fence materials must be consistent with the architectural style of the main structure or of materials related to the land
- Walls and fences bordering or fronting open space, Santaluz Club, or other common areas shall be designed to be compatible with walls and fences on adjacent private properties



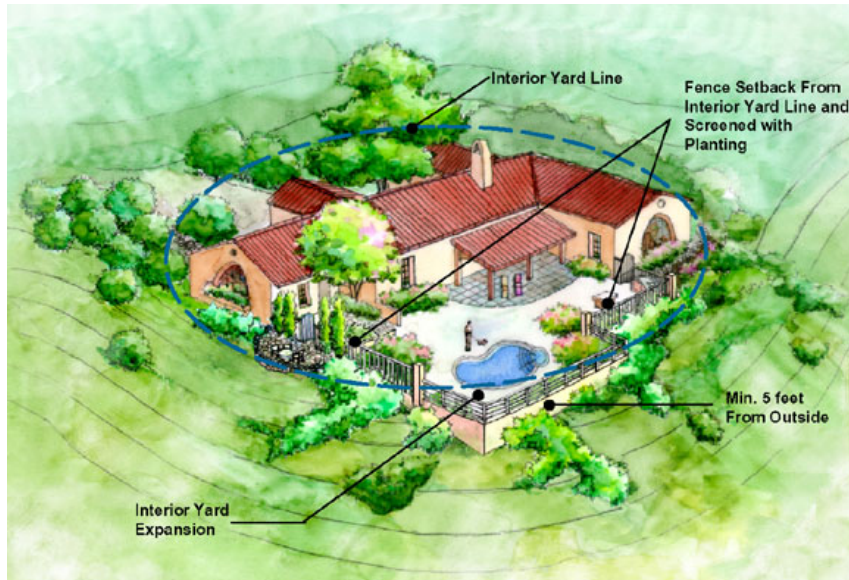
Residential walls are simple and reflect the adjacent architecture



Metal grill work adds detail

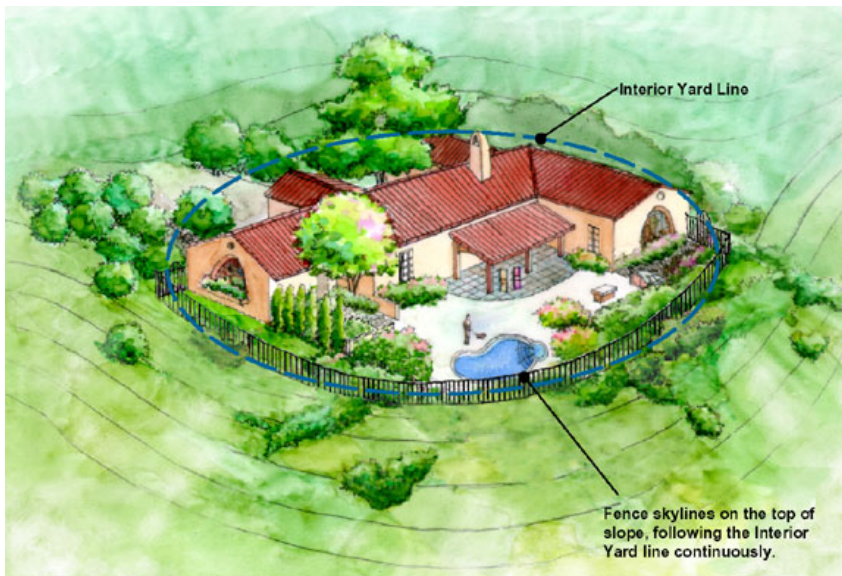


Open picket fences require little ornamentation



Fences and walls are designed as extension of main living space

- Walls and fences shall not occur on property lines except when the Interior Yard line and property line coincide. Walls and fences shall not follow the Interior Yard line for extended distances.
- Fences and walls should not skyline on the top of the slope or down the slope within the perimeter yard.



Fences skylining on the top of slope is not permitted

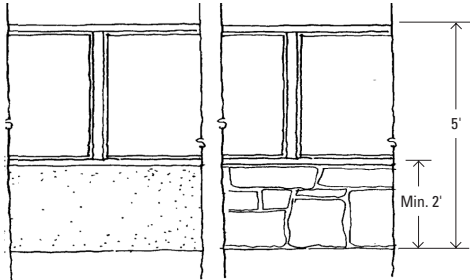
- Acceptable wall or fence materials include native site or similar stone, masonry with plaster finish, natural gray concrete or stained concrete to reflect native site colors, earth-tone brick, adobe, wrought iron, metal picket, wood slat, metal screen and transparent materials. Faux stone, if approved for the architecture, may be used for walls related to the house. Otherwise faux stone is not permitted.
- Grapestake fences are prohibited
- Wood fences on property lines are prohibited.
- The tops of fences or walls in areas of grade change must be level and stair-stepped or sloped as required with 6 to 7 feet maximum height.
- Only noncombustible fences or walls are permitted in the Brush Management Zone.
- Maximum wall or fence height shall be 6 to 7 feet. See Stepped Wall Exhibit, Page 5-12.
- Both conditions of stepped and sloped wall will be permissible and will be reviewed for appropriate treatment.



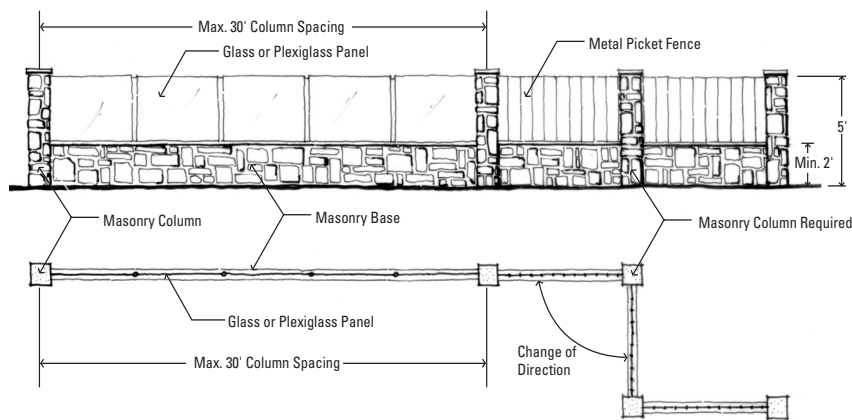
Low walls define spaces



Pool fence constructed with cable that accommodates view



Wall with glass or plexiglass view panels and masonry base



Elevation and plan view of wall with glass or plexiglass view panels and adjacent metal picket fence showing typical required masonry base and column conditions

Transparent Fencing

- To maintain views, glass panels or metal cables may be used. When glass or plexiglass panels are used, a masonry base of at least 2 feet in height and masonry columns of no more than 30 feet on center must be used.
- Masonry columns must be used whenever a change of direction of the wall or fence occurs.
- Use of glass or plexiglass panels should be minimized. No continuous run over 60 feet is permitted.
- When a fence with glass or plexiglass panels is used with a metal picket fence, the same base and columns must be used for both fences.
- Clear glass is not permitted on top of walls more than 6 feet high.

Special Fencing

- Fencing for gamecourts shall be dark green plastic coated mesh only and shall be located entirely within the Interior Yard, shall be screened and shall not be visible from off-site.
- Wind screens shall be dark green.

Retaining Walls

Retaining walls shall be designed as visual extensions of the main structure with regard to materials, color, and details, or as natural landscape elements such as stone that blend with the site. Retaining walls that relate to the landscape and are visible from public view should be low walls, 3 feet or less in height. Multi walls could be used to lower the necessary wall height. Curvilinear or organic form is encouraged to be in character with the rural landscape.

- Maximum height of a retaining wall shall be 7 feet.
- Maximum length of a single wall segment higher than 3 feet is 60 feet.
- Minimum offset between wall segments is 6 feet.

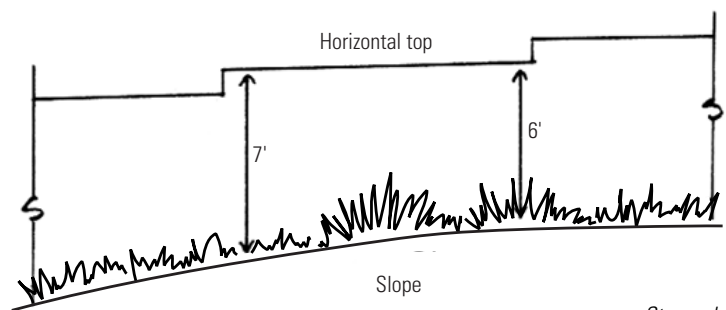
Residential walls and fences are to be approved by the Design Review Committee.



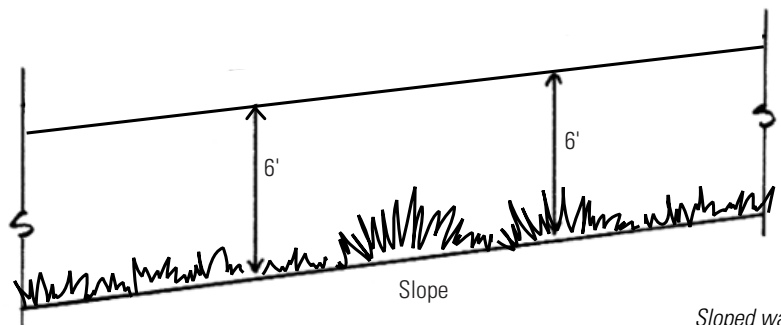
Low rock walls blend with landscape



Stepped rock wall



Stepped wall



Sloped wall



Concrete pavers



Textured and stained concrete and stone



Gravel Garden Path



Gravel outdoor paving

5.7 Paving

Paving at Santaluz should reflect the natural character of the site. Modest materials such as gravel, decomposed granite, stabilized earth, asphalt and richer natural materials such as stone, brick and clay tile are preferred. Earthen colors and textures should predominate. Man made materials that are intended to simulate natural materials such as stamped, colored concrete and cultured stone shall not be permitted.

Acceptable paving materials include native site stone or equal, clay tile, brick, gravel, asphalt, decomposed granite and stabilized earth.

Poured in place concrete paving and concrete pavers may be used but great care must be taken in achieving compatible surface quality. Exposed aggregate concrete and colored, textured concrete surfaces may be considered subject to approval. Paving samples are to be submitted. Paving is to be approved by the Design Review Committee.

When required for drainage purposes, curbs may be appropriate. See section "2.10.1 Driveways"



Stone with grass joints



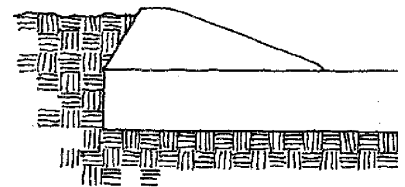
Flagstone court



Stones set in turf



Asphalt driveway



Asphalt curb





Lighting



Traditional wall mounted light fixture with light source concealed in hood

6.1 Introduction

Landscape and exterior building lighting contribute significantly to the mood and character of a community. In keeping with the restrained rustic quality of Santaluz, exterior lighting will be subdued and understated. The guiding principle for exterior illumination is that areas should not be illuminated unless one or more of the following criteria are met:

6.1.1 Mark an Important Place

Building entries, address markers and other similar important places may be lit at night to assist residents, visitors or emergency service vehicles and personnel to find their way from the street to

the residence. Exterior lighting may also be used on patios, covered exterior areas and other exterior gathering places.

6.1.2 Indicate Direction or Extent

Paths, walkways, driveways and exterior parking areas may require lighting to define their edges or extent.

6.1.3 Safety

Special situations such as abrupt changes in grade, retaining walls or other conditions may require exterior lighting in addition to the standard types of lighting described above.

6.2 General Guidelines

The following general guidelines must be observed in the design of exterior lighting:

6.2.1 Light Source Pollution

All exterior lighting must be indirect and light sources (such as light bulbs) must be concealed or shielded so that they are not visible from any street, adjacent lot, homesite or common area. No internally lit signs are permitted.

6.2.2 Light Direction

Light must be directed down towards the ground, rather than up or sideways. The area illuminated should be minimized, consistent with the purpose of the exterior lighting. Address markers may have alternate lighting. See section "5.3 Address Markers"

6.2.3 Light Intensity

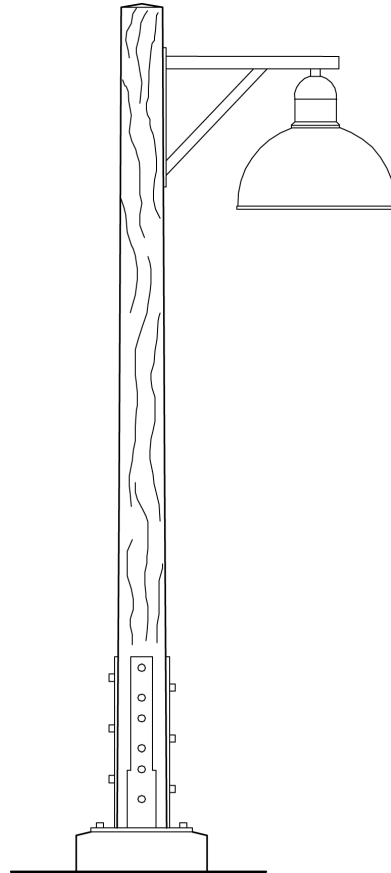
The intensity of the lighting must be the lowest level consistent with the purpose of the lighting.

6.2.4 Light Color

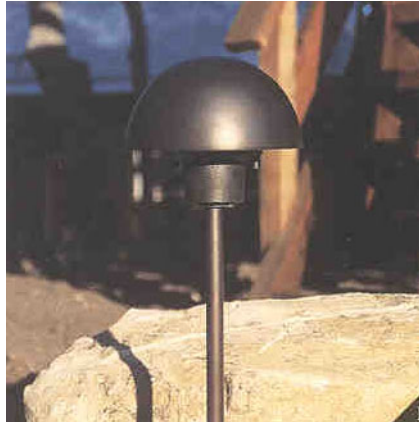
Light color must be "warm" and yellow in color, similar to the color of incandescent light. Mercury vapor, low- or high-pressure sodium, neon and other "cool" or non-yellow sources of light are not permitted unless they are completely invisible off-site.



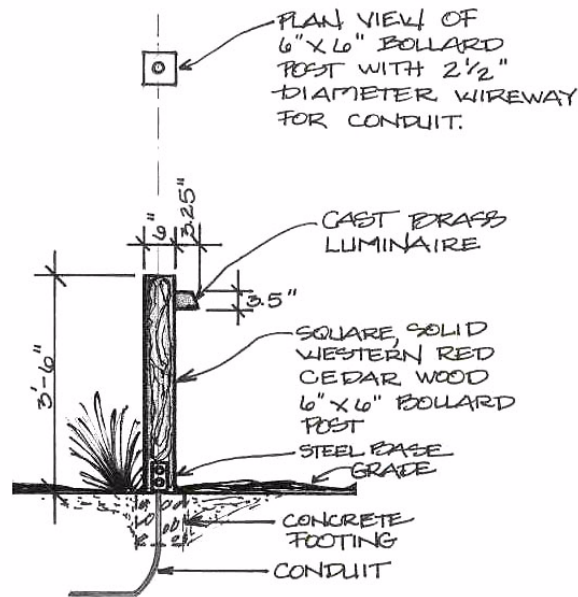
Wall mounted step or walk light



Typical pole light with concealed light source



Typical path lighting with concealed light source



Bollard type path light

6.3 Landscape Zone Lighting

No uplighting of plant material is permitted.

6.3.1 Perimeter Yard; Streetscape

Lighting permitted in the Perimeter Yard and Streetscape Zones must be limited to driveways, walkways, and address markers. Other types of lighting, including uplighting of landscape is prohibited.

6.3.2 Interior Yard

As the location of most outdoor activity, the Interior Yards may typically include walls, patios, pools, fountains, gazebos, trellises or other structures which may require lighting. Exterior lighting consistent with this section is permitted within the Interior Yard area. Limited downlighting from trees is permitted. Either pendant type or fixed type may be used. Uplighting of landscape is not permitted.

6.4 Exterior Building Lighting

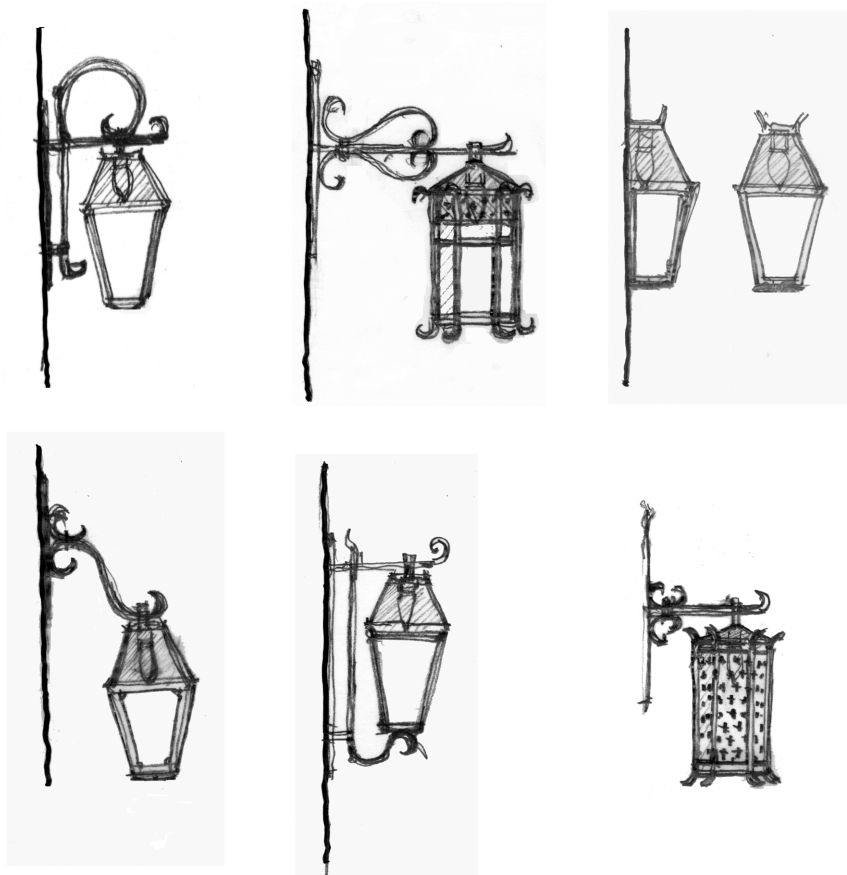
Decorative exterior building lighting should be limited to entry areas or covered exterior space, consistent with other exterior lighting guidelines. Light sources shall be concealed by placement of light source under the hood of fixture. See sketches to right. The following types of exterior building lighting are not permitted:

- Wall lighting from building-, roof- or ground-mounted fixtures
- Sconces or soffit fixtures in excess of the minimum number needed to provide for a permitted exterior lighting need
- Exterior lights may not be mounted on top of courtyard walls or pilasters.
- Flood lighting of buildings is not permitted.
- No internally lit signs or graphics are permitted.

6.5 Exterior Lighting

Exterior tree lighting is permitted subject to the following requirements:

- All fixtures must have concealed light sources;
- All fixtures must be directed downward; tree uplighting is not permitted;
- The total number of light fixtures may be restricted in order to maintain a subdued lighting environment along streets.



Decorative exterior building light with concealed light source



Limb- and trunk-mounted tree lights with concealed light sources



Brush Management



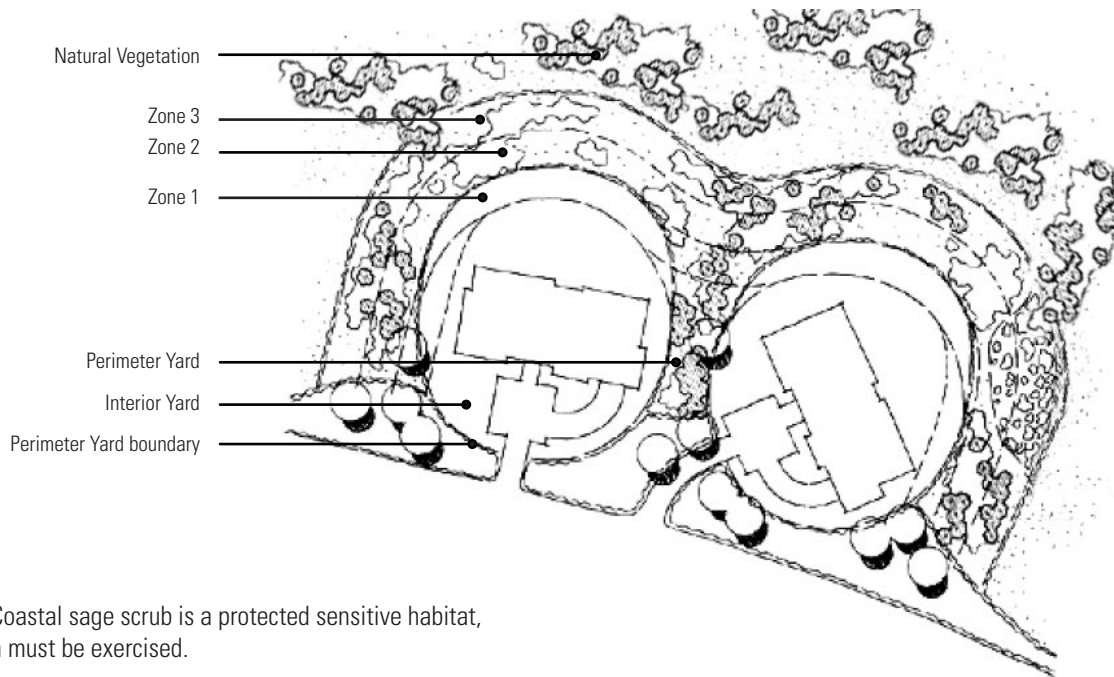
Brush Management Flammability Designations

7.1 Introduction

The Brush Management Zones implement the City of San Diego Brush Management Program as defined in the *Landscape Technical Manual* dated November 1989.

Santaluz has three flammability designations: high, moderate and low severity. These Brush Management areas have been established to reduce the amount of flammable vegetation. The Brush Management areas are subdivided into three zones (Zone 1, 2 and 3) of a spe-

cific width to make a gradual transition between natural and developed areas.



Note: Coastal sage scrub is a protected sensitive habitat, caution must be exercised.

Brush Management Zones

In high severity fire hazard areas the zone widths generally are:

- Zone 1—40 feet wide
- Zone 2—40 feet wide
- Zone 3—30 feet wide

In moderate severity fire hazard areas the zone widths generally are:

- Zone 1—35 feet wide
- Zone 2—30 feet wide
- Zone 3—20 feet wide

In low severity fire hazard areas the zone widths generally are:

- Zone 1—30 feet wide
- Zone 2—20 feet wide
- Zone 3—0 feet wide

Each zone has different treatment requirements.

The landscape in Zones 2 and 3 are located in the Perimeter Yard and will be installed by the Master Developer and maintained by the SMA.

The Zone 1 landscape includes areas within both the Perimeter and Interior

Yards and will be maintained by the homeowner.

Zone 1, 2 and 3 each have their own landscape design, installation and maintenance requirements as described below. Zone 1 landscape within the Interior Yard may be from the Interior Yard Plant List. No plant material listed on the Prohibited Plants List is permitted.

For more detailed information see the Brush Management Section of the *City of San Diego Landscape Technical Manual* dated November 1989.

7.2 Zone 1 Landscape

This Zone contains the landscape planting adjacent to structures. This Zone overlaps both the Interior and Perimeter Yards. No flammable structures (habitable or attached to habitable structures) are permitted in the Zone 1. Both native and non-native plants may be used in Zone 1. Plants may be selected from the Interior Yard Plant List that fall within

the Interior Yard in Zone 1 subject to other Zone 1 requirements. All non-native plants shall be irrigated in Zone 1 and all planting shall be maintained in a succulent condition. Native plants may not be irrigated however, the non-irrigated plant groupings may not exceed 100 square feet in area and not exceed 10% of the total zone area.

Generally the landscape should be primarily low-growing groundcovers, vines and shrubs. Highly flammable plant materials shall be prohibited. The clearance between the tree's dripline and the structure should be greater than ten feet. At least 50% of Zone 1 shall contain deep rooting, spreading, low fuel volume and fire retardant shrubs and vines.

7.3 Zone 2 Landscape

Zone 2 introduces low-growing (less than 24 inches) fire retardant shrubs and groundcovers visually and horticulturally compatible with the native vegetation. No encroachment or modification of Zone 2 grading, irrigation and landscape is allowed. No structures, walls or fences shall be constructed in Zone 2. No overspray or runoff into the Zone 3 is allowed.

7.4 Zone 3 Landscape

Zone 3 involves the selective thinning and pruning of native vegetation in a way that preserves the natural appearance of the area while reducing the fuel load. All plants in Zone 3 are to have an average maximum height of 36 inches or less and be suitable for erosion control, slope stabilization and able to survive without irrigation. No structures, walls or fences shall be constructed in Zone 3.

7.5 Maintenance of Zones

The homeowner is responsible to maintain the Zone 1 according to City of San Diego Brush Management Program as described in the Landscape Technical Manual dated November 1989. Maintenance of Brush Management Zones 2 and 3 will be the responsibility of the Santaluz Maintenance Association.

7.6 Santaluz Brush Management Modified Standards

Zone 1 may be reduced by 10 feet and Zone 3 increased by 10 feet when certain mandatory fire protection and prevention architectural features are provided.

The Homesite Exhibit indicates this modified condition as follows:

In high severity fire hazard areas the zone widths would be:

- Zone 1—30 feet wide
- Zone 2—40 feet wide
- Zone 3—40 feet wide

In moderate severity fire hazard areas the zone widths would be:

- Zone 1—25 feet wide
- Zone 2—30 feet wide
- Zone 3—30 feet wide

In low severity fire hazard areas the zone widths would be:

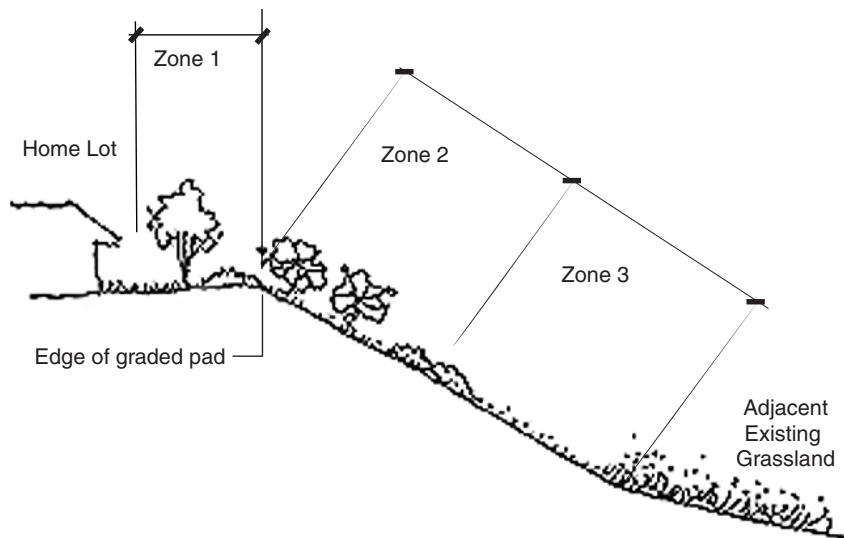
- Zone 1—20 feet wide
- Zone 2—20 feet wide
- Zone 3—10 feet wide

Architectural features occurring in the 10 feet area created by the reduced Zone 1 are subject to increased fire resistant requirements. See Homesite Exhibit.

The following list is a guide only and it is the homeowner's responsibility to confirm these and other requirements with the City of San Diego.

- The roof shall be of fire retardant construction. Wood shake shingles, whether fire retardant or untreated, are not permitted; and
- Roof overhangs shall have an exterior surface equivalent to that required for one hour fire resistive walls; and
- All eave vents shall be covered with wire screen not to exceed 1/4 inch mesh.

Note: These architectural modifications are not required where Zone 1 is not reduced as indicated in section 7.1.



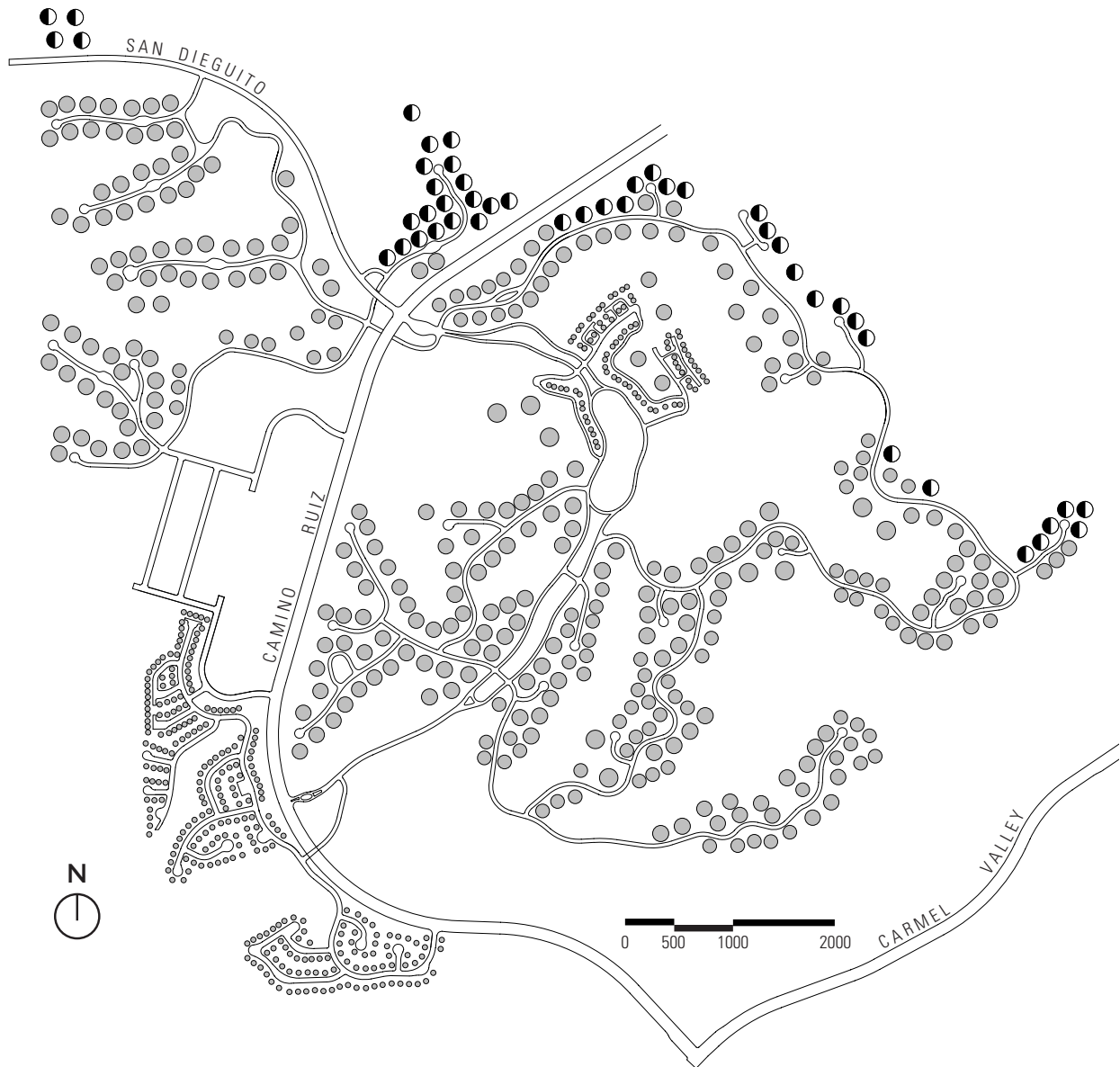
*Typical Brush Management Zone section
(From City of San Diego Manual)*



La Jolla Valley Rim Lots



La Jolla Valley Rim Lots



La Jolla Valley Rim Lot Location

8.1 Building and Site Requirements

Some lots have been designated La Jolla Valley Rim Lots and are subject to additional requirements by the City of San Diego:

- Rear Setback: 35 feet subject to Section La Jolla Valley Rim Landscape Requirements
- Minimum front setback reduced to 15 feet
- Minimum lot depth is 125 feet
- Maximum Height: 15 feet except for an area limited to 20% of the total floor area which may be 30 feet in height
- Elevation colors in these areas shall be tinted pastels that harmonize with the setting rather than colors such as white or pink
- Manufactured slopes may occur within this area if not visible from the valley floor. Maximum grade height is ten (10) feet at 2:1 slope; twelve (12) feet at 3:1 slope

8.2 Landscape Requirements

The La Jolla Valley Rim Lots shall have a 35-foot wide transitional planting area with the following requirements:

- Plant material must be listed on the Brush Management Plant List and La Jolla Valley Rim Lot Plant List, see section "4.5 Plant List".
- Vary mix of native and non-native plant materials, except areas contiguous to existing native vegetation shall be planted with native materials exclusively.
- Prohibit non-native plant species (i.e., those capable of reproducing and spreading into native, non-irrigated areas) are not permitted. See section "4.6 Prohibited Plant List".
- Promptly remove noxious weeds and invasive plants (e.g., Pampas Grass, Artichoke Thistle) that sprout in transition areas.
- Natural Grass areas are allowed to change color with the seasons, and mowed or weed-whipped where necessary for brush management purposes.



Approvals

9.1 Planning, Designing and Building in Santaluz

Welcome to the exciting process of creating your new custom residence at Santaluz.

One of the last coastal properties of its size and quality in California, the rustic village of Santaluz has been carefully crafted with the blending of cohesive and thoughtful design elements. At Santaluz, the natural landforms, native landscape and simple, elegant buildings all work together to create a village with a special quality of living.

As with all aspects of Santaluz design, the custom homesites play an important and unique role in the overall community. The purpose of this document is to provide inspiration as well as criteria and guidance to you and your team, as you proceed with this process.

We see our primary role as communicating the vision of Santaluz and ensuring the proper execution of that vision while simultaneously allowing for a high degree of variety and customization of your residence. We see ourselves more as communicators, facilitators and counselors than a standards committee.

To this end, you will find that the Santaluz design review process fits well within the typical custom home creation process. We stand ready to work with you at any pace you choose.

As we all proceed down this path of ensuring the design integrity of Santaluz, we have found there are several principles that allow the creation of your new Santaluz custom residence to be most effective:

- All team members should have a thorough understanding of Santaluz Design.
- Authentic details ensure authentic architectural style.
- Create original design for your specific homesite and surroundings.

- Seek frequent feedback on your progress; the Professional Design Team is a resource.
- Provide complete information at each step of the process.
- Respect the design and construction guidelines.
- Be inspired ... and have fun!

We look forward to working with you in bringing Santaluz to its ever-evolving reality.

Creating and maintaining the vision that is Santaluz will require highly skilled builders, architects, landscape architects, engineers and other professionals. Meaningful guidance is essential through design and construction to assure that these values are retained. The design review and approval process for custom homesites at Santaluz is intended to further assist in the realization of these goals.

A design review fee is charged for this process. A design review fee schedule is available from the Design Review Office. Failure to comply with all Santaluz requirements may result in the assessment of penalties.

Please note that the reviews and approvals required by Santaluz are independent from similar reviews and approvals required by the City of San Diego. In many, if not most cases, it will be necessary for homeowners to have their plans reviewed and approved by Santaluz prior to any submittal to the City. Homeowners are also responsible for obtaining all necessary permits and approvals from the City prior to the start of any construction. Also note that approval by the Design Review Committee or other Santaluz entity is not a guarantee of approval by the City.

9.1.1 Design Review Committee

Improvements to homesites within Santaluz, including any initial construction of improvements, will be subject to design review and approval in accordance with the provisions of the Santaluz CC&Rs, the Custom Homesites Design Book and Community Guidelines. Proposed construction of any improvement must be submitted and approved in writing by the Design Review Committee prior to the commencement of any work related to these improvements.

In reviewing the homeowner's plans and specifications, the Design Review Committee will consider, among other things, conformity and harmony of external design with neighboring homes. Other factors which may be considered include the relationship of topography, grading and finished ground elevation, the proper facing of all architectural elevations, consideration of aesthetics, noise and privacy. The site plan, floor plans and specifications must conform to the CC&Rs and the design parameters of the Custom Homesites Design Book.

The Design Review Committee encourages all applicants to avail themselves of the experience and expertise of the Professional Design Team during the design process. They are available upon request to review design concepts and answer technical questions.

9.1.2 Adequate Submittals

Applicant is required to adequately prepare and submit all required items for each step and workshop. The submittal steps are built on one another. Each step should be developed in further depth and add more details than the previous step. All required drawings must be substantially complete.

An appointment must be made in advance with the design review staff to submit any submittals. For each submittal four (4) copies of each form (including the submittal form itself) and any imagery or written documentation (including any required response letters) as well as four full sets of drawings are required. Based on workload the DRC may limit the number of submittals processed each week. All items are required to be submitted together. Incomplete submittals will not be accepted or reviewed.

Architectural and Landscape submittals must be submitted together at each step. When submittals are not complete, there may be a delay until such time as all required materials are submitted. If additional workshops are required to complete submittals, they will be subject to additional fees.

9.2 Design Seminar

Prior to starting design work, the homeowner and his architects are required to meet with the design review staff to review the intent of the Custom Homesites Design Book and to clarify any questions related to the review process.

This meeting is informal and intended to clarify the direction and appropriateness of architectural and landscape designs. The design review staff will explain the general philosophy of the Santaluz community and answer questions.

9.3 Concept Design Workshops

The purpose of the concept design workshop is to assist the homeowner and his design team through the design review process and to confirm that the Custom Homesites Design Book is understood, avoiding costly delays when detailed work is predicated on inadequate information or incorrect assumptions.

Owners and their architects are required to present concept design studies to the Professional Design Team at the Concept Design Workshops. These studies may be freehand and should be very conceptual in nature. The intent is to explore basic ideas and concepts before developing any detail. Sketches and overlays may be appropriately done in this workshop. A copy of these documents must be left with the Professional Design Team at the end of the Design Workshop.

9.4 Step No. 1 — Concept Design Submittal

Concept Design submittals must be prepared to scale and include all of the following.

9.4.1 Requirements

All items are required to be submitted together. Incomplete submittals will not be accepted or reviewed.

Photo/Imagery:

The submittal of photos and/or imagery is a critical tool that is necessary to assist the Design Review Committee in evaluating the architectural integrity and authenticity of a home's design. At this stage, the focus of imagery is upon establishing the overall feel, massing, and direction of the design of the building and landscaping. While the owner is not bound by images submitted at this stage, they are an invaluable aid in understanding the design intent, and will frequently be referred to during the review and construction processes. Substantial and qualitative imagery at each stage is expected.

Images should be authentic to the home's style and may be from books, journals, magazines or actual photographs of historic buildings. These should be photocopied on 8.5" x 11" size sheets. A description and source of each photo/image must be indicated on each sheet. Each sheet should be numbered and keyed to building elevation drawings.

Images mounted on large rigid boards may be submitted in addition to the smaller size sheets however they will not be kept or stored by the Design Review Committee.

Concept Design Site Plan

(scale 1/20" = 1'-0") including:

- ~ Existing topography.
- ~ All site constraints including all setbacks and easements.
- ~ Existing or proposed conditions on adjacent properties including landscape.
- ~ Interior Yard, Perimeter Yard and Streetscape areas including location and species of existing landscape.
- ~ Building footprint.
- ~ Proposed building area and coverage calculations. This should be in the format of lot exhibit comparing actuals to allowable and show proposed area hatched or colored with numerical calculations.
- ~ Proposed Interior Yard expansion areas (must be hatched or highlighted) and calculations.
- ~ Concept grading information, includes basic spot elevation relating to the area of proposed work.

Concept Design Floor Plans

(scale 1/8" = 1'-0"):

- ~ Separate plans for each floor and volume area above 12'-0" with overall dimensions.
- ~ A drawing/overlay of each floor which would clearly identify the separate floor areas and the method used for their calculation
- ~ Separate and accumulative square footage tabulations (include allowable figures from the Homesite Exhibit)
- ~ Accessory structure plans.

Concept Design Roof Plans

(scale 1/8" = 1'-0") including:

- ~ A roof plan for all proposed buildings and identify the roof pitch and direction of slope for each roof section
- ~ Identify all ridges, valleys, hips, pitch breaks, crickets etc.

- ~ Call out all perimeter plates at the first floor eaves and identify their length in linear feet.
- ~ Show all plate heights and provide a tabulation of the first floor perimeter plates showing compliance to the requirement of 60% @ 9'-0" or less.

Concept Design Elevations and Sections

(scale 1/8" = 1'-0") including:

- ~ Exterior elevation sketches of all proposed buildings showing front, sides, rear, partial and courtyard views.
- ~ Indicate the proposed architectural style.
- ~ Provide minimum of 2 cross sections relating structures to original rough grade.

Concept Design Landscape Plan

(scale 1/8" = 1'-0") including:

- ~ Planting areas indicating character of conceptual landscape as they relate to the site plan, architecture and other existing landscape on the site and adjacent areas.
- ~ Conceptual locations of fences, walls, gazebos, barbecues, pools, spas, etc.

Perspectives, Isometrics, Renderings and Landscape Elevations

- ~ These additional drawings are not required; however, they may help the Design Review Committee understand the proposal.

9.4.2 Approval

The Design Review Committee shall inform the homeowners when they may proceed to the Design Development Submittal. Additional submittals and meetings may be required by the Design Review Committee for further review to assure the quality and authenticity of the design before proceeding to Design Development Submittal.

9.5 Step No. 2 — Design Development Submittal

Design Development Submittal must be prepared to scale and include all of the following elements. Images and photographs are required to be submitted to substantiate authenticity of style and detail.

9.5.1 Requirements

A type-written letter responding to the previous submittal review comments must be submitted, accompanied by any/all redline sets of drawings. Drawings shall include all revisions required by the Design Review Committee after their review of Step No. 1.

Photo/Imagery:

At this step, imagery should be adjusted to reflect the final design of all architectural elements and details as they are represented on the building elevations. Depending upon the complexity of the project, images should include all proposed design components. These may include roof eaves, roof rakes, gable vents, recessed stucco grilles, windows and window surrounds, doors and door surrounds, door and window shutters, garage doors, chimney caps, balconies, exterior stairways, railings, columns, arcades, trellises, decorative tile patterns, light fixtures, weathervanes, wrought ironwork, gates, and landscape walls.

Photo/imagery should be submitted in the same format as required in the Concept Design phase. Each image sheet should be keyed to the Design Development building elevations.

Design Development Site Plan

(scale, 1/8" = 1'-0") including:

- ~ Existing topography.
- ~ All site constraints including all setbacks and easements.
- ~ Interior Yard, Perimeter Yard and Streetscape areas including location and species of existing landscape.

- ~ Building footprint.
- ~ All existing and proposed improvements: structures, fences, walks, driveways, utilities, setbacks, sidewalks, slopes, and street right-of-way contiguous to the homesite. Indicate the address marker, trash storage area, gas and electrical meters and all mechanical equipment. Trash enclosures and all equipment must be completely concealed by structures or planting from views beyond your property.
- ~ All dimensions on work to be considered, distances between existing and proposed work, and distances between proposed work and property lines.
- ~ Proposed building area and coverage calculations including square footage of the first floor, second floor, garage, basement, attic, covered exterior space and accessory buildings.
- ~ Proposed Interior Yard expansion areas (must be hatched or highlighted) and calculations.

Design Development Grading and Drainage Plan

(scale, 1/8" = 1'-0") including:

- ~ Show existing contours and proposed changes to existing grade, proposed contours, grading of all paved and unpaved areas, walls, top of wall elevations, drainage plan, drain lines and downspout points of connection. An unimproved but graded custom lot may, over the passage of time, undergo minor settlement or erosion prior to the time of its sale. For this reason, the homeowner is required to have a survey of the lot prepared by the homeowner's engineer to confirm the current elevations of the lot prior to the commencement of the design process.

Design Development Floor Plans

(scale, 1/8" = 1'-0") including:

- ~ Provide revised and current plans for each floor and volume area above 12'-0", with any/all required revisions clearly identified.
- ~ Scale accurately all items and parts of plans, including balconies, decks, atriums, garages, storage buildings, outdoor living areas etc.
- ~ Provide overall and major building offset dimensions.
- ~ Update and make current drawing/overlay of each floor identifying the separate floor areas and the method used for their calculation.
- ~ Update and make current square footage tabulations (include allowable figures from the Homesite Exhibit).
- ~ Provide revised and current accessory structure plans.

Design Development Roof Plans

(scale 1/8" = 1'-0") including:

- ~ Provide revised and current roof plan identifying the roof pitch and direction of slope for each roof section.
- ~ Label all ridges, valleys, hips, pitch breaks, crickets etc.
- ~ Update all perimeter plates at the first floor eaves and identify their length in linear feet.
- ~ Provide a revised and current tabulation of the first floor perimeter plates, showing compliance to the requirement of 60% @ 9'-0" or less.
- ~ Show all proposed roof accessories such as attic vents, gutters & downspouts, chimney caps, skylights etc.
- ~ Identify accurately height of all ridges in mean sea level form.

Design Development Elevations

(scale 1/8" = 1'-0") including:

- ~ Provide exterior elevations of all proposed buildings showing front, sides, rear and all courtyard views with any/all required revisions clearly identified.

- ~ Identify finish floor, plate heights and top of each ridge and give accurate dimensions in mean sea level coordinates.
- ~ Show and label line of original rough grade and the maximum building height line
- ~ All finish materials, colors, and textures should be identified and keyed to the material color board and a copy of material list should be included on the elevation sheets.
- ~ Show exterior light fixtures.
- ~ Show dimension from the top of each chimney to nearest ridge or roof within 10 feet.
- ~ Include notes on all exterior items that cannot be clearly noted on the exterior elevations.
- ~ Identify architectural style.

Exterior Materials Colors and Finishes

- ~ All colors and materials must be presented on a sample board and on the elevation sheets. The sample board and the elevations must clearly indicate which color(s) and material(s) will be used on each portion of the custom home.
- ~ All colors and materials must be identified with a manufacturer's name and list number. Colors must be painted on the proposed finish surface material. Paper color chips will not be accepted.
- ~ A sample of the roofing material must be provided.
- ~ Provide a colored drawing of the front elevation that accurately represents the proposed materials.
- ~ The Design Review Committee may, at their discretion, request that a four (4) foot wide by eight (8) foot tall mock-up be built which illustrates typical fascia, window and door treatment, colors and materials.

Design Development Sections

(scale 1/8" = 1'-0") including:

- ~ Provide two (2) site and custom home sections. The sections should be located perpendicular to each other.

- ~ All horizontal elevations should be related to finished grade elevation; horizontal and vertical scales are to be the same.
- ~ All setbacks should be identified. Show initial finished grade along entire length of each section drawing.

Design Development Architectural Lighting Plan

- ~ All exterior fixtures must be shown on elevations.
- ~ Cut sheet must be provided on all exterior fixtures. All fixtures must have a concealed source.

Design Development Architectural Details

(minimum scale: 1" = 1'-0") including:

- ~ Roof eaves and rakes
- ~ Wall and roof vents
- ~ Recessed stucco vents or grilles
- ~ Window grilles
- ~ Window heads, jambs, sills, transoms, and decorative surrounds
- ~ Door heads, jambs, thresholds, transoms and decorative surrounds
- ~ Chimney caps
- ~ Exterior stair treads and risers
- ~ Balcony, deck, and exterior stair guardrails, railings showing connections to adjacent structures
- ~ Exterior column bases and capitals showing connections to adjacent structures
- ~ Lightwells
- ~ Decorative details such as finial caps, weathervanes, gates, ceramic tile patterns, and lanterns
- ~ Exterior wall material changes or transitions
- ~ Cantilevered walls and brackets
- ~ Additional details as may be required by the Design Review Committee

Design Development Landscape Construction Plan

(scale 1/8" = 1'-0") including:

- ~ Indicate all hardscape improvements including paving, fences, walls, pilasters, trellises, arbors, gazebos, patio covers, game courts, pools/spa, fountains, and all mechanical equipment and enclosures.

- ~ The drawings must be detailed and clearly specify all proposed materials, colors, and dimensions.
- ~ Show all constraints including setbacks, Interior Yard, Perimeter Yard, Streetscape area and, if applicable, Santaluz Club or SMA landscape area, Brush Management Zones and La Jolla Valley viewshed. Include existing and proposed landscape installed in these areas by Master Developer.
- ~ Landscape grading and drainage plans.
- ~ Provide dimensions for significant hardscape areas (planter areas, driveways, motor courts, etc.)
- ~ Locate and indicate to scale, the box sizes of trees per the planting plan.
- ~ Show Interior Yard expansion areas and proposed modification to any Perimeter Yard landscape and irrigation. Also include existing landscape and irrigation and proposed modification to Santaluz Club and Santaluz Maintenance Association installed and maintained area if appropriate. The homeowner must obtain approval from the Santaluz Club or Santaluz Maintenance Association for any modifications.
- ~ Identify all existing improvements at the street.
- ~ Samples of all proposed materials and colors for all hardscape improvements.

Design Development Landscape Details
Including:

- ~ Hardscape improvements including paving, fences, walls, pilasters, trellises, arbors, gazebos, patio covers, game courts, pools/spa, fountains, and all mechanical equipment and enclosures.
- ~ Landscape planting details.
- ~ All irrigation and drainage details.

Design Development Landscape Planting Plan

(scale 1/8" = 1'-0") including:

- ~ Specify and size all trees and identify the shrub and turf planting areas. Provide detailed legend with both common name and botanical names.
- ~ Identify existing and proposed Streetscape, Interior Yard, Perimeter Yard, Santaluz Club and common area planting.

Design Development Landscape Irrigation Plan

(scale 1/8" = 1'-0")

Design Development Landscape Lighting plan

- ~ Location of all proposed exterior light fixtures.
- ~ Submit catalog cuts, drawings, photographs and technical specification of all exterior lighting fixtures. The review of light fixtures is to assure that light sources are not visible and direct light is not impinging upon the neighboring properties or public streets. Applicant must be able to demonstrate that this requirement is met.

Perspectives, Isometrics, Renderings and Landscape Elevations

- ~ These additional drawings are not required; however, they may help the Design Review Committee understand the proposal.

Design Development Scale Model

(scale 1/8" = 1'-0")

- ~ The model must show architectural massing, window and door locations.
- ~ The model base must show the area 50 feet beyond any proposed structure with the base and stepped contours to show topography.
- ~ All scale models must show any item built over 2'-0" in height.
- ~ The model may be made of cardboard, foam core or solid foam with window and door locations cutout.

Corner Staking

Upon submittal of the Design Development Review the corners of the house and all pertinent structures within the Interior Yard shall be staked on the lot by a licensed surveyor and the Design Review Committee notified upon completion.

Other Documents

Other documents may be required or deemed necessary by the Design Review Committee to clarify issues.

9.5.2 Approval

When the Design Review Committee has determined that all requirements for Step No. 2 have been met, the Design Review Committee must, within thirty (30) calendar days, meet and either approve or disapprove the proposed design. The Design Review Committee shall inform the homeowners when they may proceed to the next step. Additional submittals and meetings may be required by the Design Review Committee for further review to assure the quality and authenticity of the design before proceeding to the next step.

9.6 Step No. 3 — Construction Documents Submittal

Construction Documents must be prepared to scale and are to include all requirements outlined in Step No. 2 except illustratives, sample board and model.

9.6.1 Requirements

A type-written letter responding to the previous submittal review comments must be submitted, accompanied by any/all redline sets of drawings. Drawings shall include all revisions required by the Design Review Committee after their review of Step No. 2.

Site Plan

(scale, 1/8" = 1'-0") including:

- ~ Existing topography.
- ~ All site constraints including all setbacks and easements.
- ~ Interior Yard, Perimeter Yard and Streetscape areas including location and species of existing landscape.
- ~ All existing and proposed improvements.
- ~ All dimensions on work to be considered, distances between existing and proposed work, and distances between proposed work and property lines.
- ~ Proposed building area and coverage calculations including square footage of the first floor, second floor, garage, basement, attic, covered exterior space and accessory buildings.
- ~ Proposed Interior Yard expansion areas (must be hatched or highlighted) and calculations.

Construction Grading Plan

(scale 1/8" = 1'-0") including:

- ~ Existing and proposed contours, flow lines and finished grades, walls, top of wall elevations.
- ~ Drainage pattern surface and sub-surface and drainage system, including direction of flow, type and size of facility and downspout points of connection.

Architectural Construction Documents

including:

- ~ Complete architectural construction documents of all applicable structures including as a minimum, Roof Plans, Floor Plans, Elevations, Exterior Materials Colors and Finishes, Sections and Architectural Details reflecting any/all revisions requested in the previous submittal review.
- ~ Written specifications for all proposed work.

Landscape Construction Documents

(scale 1/8" = 1'-0") including:

- ~ All information requested in Design Development Submittal, including Landscape Construction Plan, Landscape Details, Planting Plan, Landscape Irrigation Plan, Landscape Lighting Plan

Pool Plan:

- ~ Plans showing exact pool location, drainage, pool equipment and construction details.

Adjacent Owner Awareness Form

The homeowner is required to contact adjacent owners to inform them of his/her proposed site development. Copy of site plan (including building footprint), elevations and landscape plan should be presented to the adjacent owners. Adjacent Owner Awareness Form must be signed and submitted to the Design Review Office.

Insurance Endorsement:

Insurance Endorsement is required to name Santaluz Maintenance Association and Santaluz LLC as additional insureds during the course of construction for a minimum of one million dollars in liability coverage. The certificates of Insurance Endorsement must be presented to the Design Review Office.

9.6.2 Approval

When the Design Review Committee has determined that all requirements for Step No. 3 have been met, the Design Review Committee must, within thirty (30) calendar days, meet and either approve or disapprove the proposed design.

The Design Review Committee shall inform the homeowners of the final decision. Additional submittals and meetings may be required by the Design Review Committee for further review to assure the quality and authenticity of the design before proceeding.

9.6.3 City Submittal

Upon receiving approval by the Design Review Committee, the architectural construction documents and plans may then be submitted to the City of San Diego (or any other governing jurisdiction) for plan check review. The homeowner is responsible for insuring that plans satisfy all requirements of both the City and Santaluz.

9.7 Step No. 4 — Construction

9.7.1 City Requirements

The homeowner shall submit copies of the City's comments with required changes (if any) to the Design Review Committee. The purpose of Step No. 4 is to give the Design Review Committee the opportunity to review the City's comments and any required changes to the final construction plan. The Design Review Committee reserves the right to impose additional requirements on the homeowner if the City's comments deviate from the previously approved plans.

Any proposed changes or deviation from the approved plans occurring during construction must be submitted to the Design Review Committee for approval, prior to the commencement of such changes.

9.7.2 Construction Kickoff Meeting

Prior to the start of construction a Design Review Office representative will conduct a construction kickoff meeting. No construction may commence prior to this meeting, resolution of the requirements listed and receipt of final plans stamped and signed as approved. Attendance of the General Contractor and/or supervising Construction Manager is mandatory. Among the items to be resolved are:

- ~ A review of the Contractor Guidelines
- ~ A review of the job site perimeter, adjacent ownership, easements, landscaping and habitats

- ~ Placement of the construction site perimeter fencing
- ~ Water meter installation/disconnect from SMA
- ~ Temporary power installation
- ~ All weather construction access and parking installation
- ~ Evidence of City building permit
- ~ Contractor and workman list and access authorization process
- ~ Review of Standard Conditions of Approval
- ~ Review of Conformance Deposit Agreement
- ~ Required Insurance Endorsement
- ~ Plan change and modification process
- ~ Onsite construction office and/or approved plan storage
- ~ Authorized signage
- ~ Grading plan review including stockpiling, offsite work authorization and/or export site
- ~ Encroachment authorization: Off-site construction access, Irrigation system relocation, Revegetation, Recorded easement vacation agreement
- ~ SMA or Santaluz Club maintained landscaping on the property by easement: interface during construction, Reimbursement, Location and protection of water lines, cables and control wiring
- ~ Notification of USA Dig for trenching
- ~ Modification and/or connection to existing site drainage and/or storm drainage facilities; Temporary disruption of drainage and/or water systems
- ~ Temporary Restroom Requirement
- ~ Surveying and inspection requirements
- ~ Notice of Completion/Final Inspection

9.7.3 Foundations and other Improvements

After the homeowner has staked the foundation for the custom home and all other improvements that are located within the Interior Yard and all walls within the site, the homeowner shall have the improvements surveyed and a certified survey prepared by a licensed land surveyor or registered Civil Engineer licensed to practice land surveying. The purpose of the certified survey is to insure that locations are correct and setbacks and boundaries of the Interior Yard have not been violated. This certified survey must be submitted to the Design Review Committee for approval prior to the commencement of construction (e.g., pouring foundations, footings).

9.7.4 Inlets and Drain Lines

After the homeowner has installed the inlets and drain lines, the homeowner shall have the improvements surveyed and a certified survey prepared by a licensed Land Surveyor or registered Civil Engineer licensed to practice land surveying. The purpose of the certified survey is to insure that adequate drainage has been provided and that all improvements have been installed in accordance with the approved plans.

9.7.5 Framing

When the buildings are fully framed and prior to application of exterior finishes, the property owner shall request an inspection of the framing including building massing, windows and ridges by a design review office representative. The ridges shall be surveyed and a certified survey prepared by a licensed land surveyor or registered Civil Engineer licensed to practice land surveying. The certified survey must then be submitted to the Design Review Committee. The purpose of the certified survey is to insure that the building height limits have not been violated. This certified survey must be conducted prior to the installation of sheathing or roof tile.

The Design Review Committee will review this submittal and any other modifications which were made to the lot improvements in the field.

9.7.6 Notice of Completion

After completion of all improvements to the lot and after the issuance of Certificates of Occupancy by the City of San Diego (or any other governing jurisdiction), the homeowner shall submit a letter to the Design Review Committee indicating that all improvements on the lot are complete and are in conformance with the approved plans and specifications of the Design Review Committee. Upon receipt of the letter, the Design Review Committee must inspect the improvements. After inspection, the Design Review Committee must notify the homeowner of either final approval of the improvements or non-compliance with the approved plans and specifications.

In the letter which indicates that all improvements are complete, the homeowner shall also have the right to request that any remaining refundable portion of their deposit be released after the inspection and final approval of the improvements by the Design Review Committee. The homeowner shall also have the right at this time to request permission to release any bonds or insurance policies which have been held against the lot.

